

STONEHURST

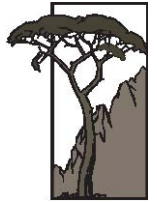
MOUNTAIN ESATE

URBAN DESIGN ARCHITECTURAL & LANDSCAPING CONTROLS

14 SEPTEMBER 2016

REV 16

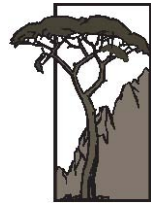
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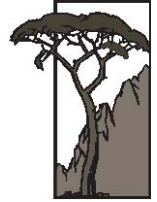
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VISION

The Stonehurst Mountain Estate is set against the slopes of Silvermine Mountain, forming a unique Mountain setting for the residential development. The uppermost parts of the site form a significant part of the view from the valley below, whilst the view of the lower slopes is screened by the Golf Course and existing trees.

The dwellings for the Stonehurst Mountain Estate should be designed and positioned in such a way that they would form an integral part of the natural landscape. This will be promoted by the use of natural materials such as stone and timber in dark and neutral tones, which blend into the environment. The dwellings should be structured to define courtyards or garden spaces which will create a sheltered external space, whilst optimizing the views over the valley and the Constantia Berg to the Northwest of the site. Owners should cooperate during the design process to allow the optimization of views within the Estate.

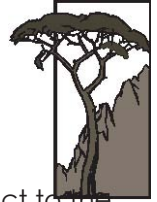
This manual is aimed at encouraging a modern interpretation of openings, which could open up to integrate the internal spaces with the exterior courtyard or garden. It does not intend to be prescriptive in terms of architectural style, but rather to allow flexibility for individual expression. Revivalist or Period Architectural Styles are not permitted, while a modern/ contemporary language is seen as desirable.

The landscape architectural design shall form an integral part of the architectural design process and shall not be seen as an "add-on" once the building is complete. Gardens, courtyards, avenues, water features, terraces, pools, pergolas and fences shall be used to enrich and complement the interior spaces and shall inform the architectural design process and vice versa. The design of external spaces and the link between the land, water and built forms is seen as integral to the character and aesthetic success of the Estate as a whole.

The architectural and landscaping for the Stonehurst Mountain Estate should therefore result in a development, which is sympathetic to the mountain's topography, creating building footprints and roof forms, which relate to the natural contours of the site. A number of different roof forms will be allowed to assist in delivering fragmented and varied roof scapes separated by flat roof sections and augmented by pergolas and verandahs to minimize the impact of individual buildings against the slope of the mountain.

1. INTRODUCTION

- 1.1 This document sets out the Urban Design, Architectural and Landscape Controls with which the Home Owners will have to comply, and forms part of the Stonehurst Homeowners Association (SHOA) Constitution.
- 1.2 In terms of the Agreement of Sale and the Constitution, Owners will be obliged to submit their drawings (including Landscape plan) to the Design Review Committee (appointed by the SHOA) for design approval, before submitting them to the local authority for final approval. Approval or rejection of the design is entirely at the discretion of the Design Review Committee. Refer to the requirements for submissions at the end of this document.



- 1.3 The SHOA has the right to vary the requirements contained within this document subject to the approval of the Municipality.
- 1.4 The Owner and his Contractor will be subject to the provisions of an Environmental Contract which will be administered by the SHOA and which will contain obligations and penalties for any breach of contract.
- 1.5 In these guidelines the words “must or “shall” indicate mandatory provisions, while the word “should” indicates desirable and recommended provisions that may only be deviated from at the Sole discretion of the Design Review Committee.

2. DEFINITIONS

2.1 Design Review Committee (DRC)

Means the committee formed by the Urban Design & Architectural & Landscape practice and the SHOA representative. The role of the committee is to review and approve all design proposals, prior to submission to City of Cape Town.

2.2 Urban & Architectural Design Controls (UAC)

Means the legal document to control the nature and aesthetics of development, and to ensure the protection, improvement and enhancement of the natural environment.

2.3 Balcony

A floor projecting outside a building at a level higher than ground floor level, enclosed only by low walls or railings or by the walls of adjacent rooms, and includes a roof, if any, over such floor or any pillars supporting the roof.

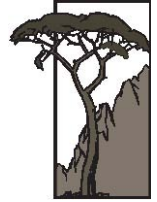
2.4 Basement

Any portion of a dwelling generally below natural ground level. No portion of a basement (measured to be finished floor level above the basement) may project more than 1,0m above natural ground level. A basement level is not considered as a building storey for the purposes of height restrictions, but is included in the calculation of physical height above natural ground level where applicable.

2.5 Coverage

In relation to a dwelling house, coverage means the maximum area covered by any floor of the dwelling (whether or not useable), as measured from the outer face of the exterior walls or similar supports of such a dwelling, provided that:

- i. Where the dwelling consists of more than one storey, total coverage shall be the maximum extent of the floor space of all storeys, but not the sum of all floors. (refer to 2.19)
- ii. For the purposes of measuring maximum coverage; garages, storage, boat houses or other free-standing enclosed structures shall be included. Any covered spaces, such as overhanging balconies and verandahs shall also be included.



2.6 Deck

A timber external floor area, which is raised off the ground level on posts and projects out beyond the building perimeter and includes any railing enclosing it. The posts must be a max. of 1.2m above natural ground. It does not refer to balconies at the first floor level of a dwelling. If a deck is built on a solid base, restrictions applicable to verandahs apply.

2.7 Site (Construction Phase) Environmental Management Plan (SEMP)

Describes how controls are to be carried out on site and describes mitigation measures in detail, and is prescriptive, identifying specific individuals or organizations responsible for undertaking specific tasks to ensure that impacts on the environment are minimized during construction.

2.8 Estate Architects (EA)

Means the selected Architectural and Landscape practice that will form part of the Design Review Committee (DRC).

2.9 Finished Floor Level (FFL)

Maximum final level of floor finishes. For the purpose of height restriction calculations, the “worst” or highest point is used. Where FFL is stepped, height restrictions above natural ground level must be met for each individual platform or level.

2.10 Finished Ground Level (FGL)

Refers to the final surface level after construction and landscaping, and could be hard landscaped surface level or soil level. (Refer to 2.16)

2.11 Garage

A building used for the housing of motor vehicles or boats, and not a “habitable” room.

2.12 Garden Terrace

A level or platform created through either cutting or fill, which is not directly attached to the main building elements. Garden terraces refer to areas surfaced with hard or soft landscaping.

2.13 Site Diagrams

Means the diagram of any specific individual site, describing the site boundaries, building lines, and any other restrictions imposed on the site. The information on the diagram will be legally binding.

2.14 Major Plan forms

Refer to the main building elements attached to the main building forms and include linking elements between major plan forms, balconies, pergolas, and enclosure of deck or verandahs.

2.15 Minor Plan Forms

Refer to building elements attached to the main building forms and include linking elements between major plan forms, balconies, pergolas, and enclosure of decks or verandahs.



2.16 Natural Ground Level (NGL)

Means the ground level as at the date of transfer to the original purchaser. Preliminary surveyed contours of each site will be provided with each site diagram, and will serve as a guide. Each site is to be surveyed in detail prior to commencement of earth works. The detail survey is to be attached to building plans submission to the DRC, and will generally serve as the base information measuring height above natural ground level.

2.17 Overlooking Feature

Refer to features (excluding ground floor areas) allowing views over the adjoining residential properties, and include first floor window, balconies and terraces. Council regulations apply.

2.18 Terrace

A floor area created on a flat roof over a portion of a storey of a building resulting from the setting back of a portion of the building above such a storey.

2.19 Floor Space

- i. Floor space in relation to a dwelling house means the area of every floor of the dwelling as measured from the inner face of the exterior walls or similar supports of such dwelling. When the dwelling consists of more than one storey, the total floor space shall be the sum of the floor space of all the storeys.
- ii. For the purpose of measuring maximum floor space, garages, outbuilding and covered balconies, terraces, patios and verandahs shall be included.

2.20 Portion Boundaries

- i. Street Boundary The boundary of a residential portion, which abuts any street, or a portion of the street.
- ii. Side (common) Boundary The boundary of a residential portion, which abuts another portion, and is adjacent to the street boundary.
- iii. Rear (common) Boundary The boundary of a residential portion, which abuts another portion, but is not adjacent to the street boundary.

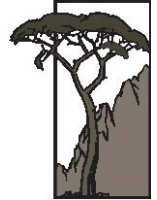
2.21 Double Storey

- iv. A double storey will be defined as any floor above the ground floor, which has a floor to wall plate height greater than 1.5m.
- v. The height of the double storey dwelling, including the roof, is restricted to 8.5m above the natural ground level of the site. No portion of the building, except chimney, shall be higher than 8.5m above any point of the natural ground level immediately below it.
- vi. No vertical face of the building shall be higher than 7.0m measured externally from finished ground level to wallplate or eaves level. A different condition applies to a monopitch roof on street (see 5.2.2)



2.22 Zoning Scheme

- i. Phase 1 | This original Design Manual was approved under the CCC Zoning scheme, Gazette 4649 29 June 1990, amended 19 November 2002.
- ii. Phase 2 | This refers to the LUPA Development Management (DMS) scheme effective 1 July 2015. Building lines to phase 2 need to comply to the SDR scheme, in addition to Conditions of Approval.



SECOND DRAFT AMENDMENT: 2008/06/17

2.23 Max 2 Storey Limitation

A Maximum of 2 storeys may be built using the following as a guide. A Basement is not considered a storey, provided it conforms to the City Council and Architectural Design Manual basement definition. Non-habitable space such as stairs, stores and passages may overlap in section by not more than 2m (provided in doing so it is not circumventing this control. All the other parameters must still be met such as Height above NGL, stepping of the façade, Max façade height 7m (a minimum step or min architectural element should be 2m).

2.24 Façade Fragmentation

In reference to the façade fragmentation, this must be more than a wall thickness (in order to create shade and fragmentation) A room width should be used as the division minimum. As the min SABS room size is 2m, the step size or Fragmenting element (pergola/ balcony etc.) must be a minimum of 2m.

2.25 Façade Height Clause 2.21 (iii)

(Max upper storey of 15m Clause 3.4)

Where the manual calls for fragmentation the building will be required to step by a min of 2m in plan or section, provided in doing so it creates fragmentation, shadow to break the massing in such a way as to minimize the visual impact.

THIRD DRAFT AMENDMENT: 2009/07/30

2.26 Double Dwellings - Further Aesthetic Interpretation

Double dwellings, garages, servants quarters or similar such 'stand-alone' structures need to be attached by significant building elements such as a wall or roofed element, or both. Transparent elements such as pergolas or paved walkways are considered to be insufficient. Please refer to diagram 1a below.

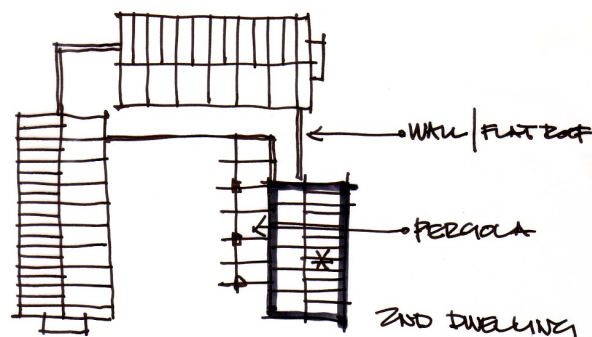


Diagram 1a

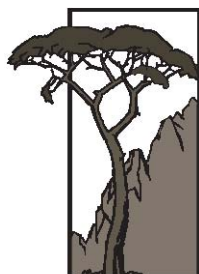
AMENDMENT : 2012/05/23

2.27 Residents Parking Bays

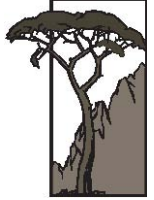
This is to be either a double garage, two single garages, a combination of parking bay and garage to accommodate 2 vehicles in total, or two parking bays. This is to be provided in addition to the requirement for visitors parking.



ANNEXURE 1



STONEHURST



SPECIFICATION LIST

STONEHURST MOUNTAIN ESTATE – Specification List

Roof Materials (Refer to list in Urban Design and Architectural Controls Document)

- a) **Natural Slate** – Colour: Silver Blue
- b) **Corrugated Sheeting:** Kliplok or Victorian Profile – Colour: Charcoal; Dark Dolphin

SECOND DRAFT AMENDMENT: 2008/06/17

Roofing

Silver Blue Slate	Masista or equal
Multi Colour Slate	Masista (Silver Blue 80%- West Country & Bright Brown 20%) Note: to be all from the same quarry.

Wall Finishes (Refer to no. 6 in Urban Design and Architectural Controls document)

- i. “Shiplapped” Hardwood Boarding – Building Planks: Everite
- ii. Natural Stone: – Table Mountain Light Almond Sandstone / Stone shape **horizontally elongated**
- iii. Plastered walls – paint colors:

Natural colors – Dulux

- i. Kid Gloves 6J1-2
- ii. New Fallen Snow 6J1-3
- iii. Birch Bark Canoe 6J1-4
- iv. Pacific Bungalow 6J1-5

Marmoran /Permacrete 1.5 mm Random Pattern



SECOND DRAFT AMENDMENT: 2008/06/17

Building Colours:

In order to expand the possible colours from the approved colours the following are approved colours. No other colours will be considered.

Dulux

Birch Bark Canoe	6j1-4
Kid Gloves	6j1-2
New Fallen Snow	6j1-3
Pacific Bungalow	6j1-5

Plascon

French Chateau	6j1-6
Safari Tan	d13-4
River Rock	6j1-7
Chaps	y1-e2-1
Beach Wood	y3-d2-1
Cigar Smoke	pal 88
Maison Blanche	Y1-E2-1

Midas Earthcote

Stonehenge	MTO748
Papyrus	MB1626

THIRD DRAFT AMENDMENT: 2009/07/30

Building Colours

In order to expand the approved colour range the following additional paint colours have been approved. No other colours will be considered.

Dulux

Birch Bark Canoe	6j1-4
Kid Gloves	6j1-2
New Fallen Snow	6j1-3
Pacific Bungalow	6j1-5

Dulux - 2009 - Additional colours:

White 7	00YY65/060	
White 7	10YY41/083	
White 7	10YY48/071	Rum Caramel 4
White 7	20YY43/083	
White 7	20YY51/098	
White 7	30YY51/098	Toasty Grey
White 7	90YR55/051	Natural Taupe 2



Plascon

French Chateau	6j1-6
Safari Tan	d13-4
River Rock	6j1-7
Chaps	y1-e2-1
Beach Wood	y3-d2-1
Cigar Smoke	pal 88
Maison Blanche	Y1-E2-1

Plascon - 2009 addition - Additional colours

Chaps Expressions	D13-3
Safari tan Expressions	D13-4
Trade Winds Expressions	D13-5
Winter Savanna Inspirations	NEU01
River Clay Inspirations	NEU10
Statued Inspirations	NEU12
Veldrift Plascon Inspired	Y2-D2-3
Maison Blanche Plascon Inspired	Y1-E2-1
Stonewash Plascon Inspired	Y2-D2-2
Country Mushroom	Y1-D2-2
Baby Elephant	Y1-E1-4

Midas Earthcote

Stonehenge	MTO748
Papyrus	MB1626

In addition, kindly note:

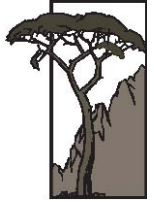
- Only the above stipulated colours will be acceptable.
- Only a matt paint finish will be accepted. No glossy finishes will be permitted.
- Textured paints will be permitted on approval from the design review committee.

Timber cladding – Balau stained and oiled

FIRST DRAFT AMENDMENT: 2006/12/05

Specification Inclusions:

Stone Cladding to be used for the project is Table Mountain Light Almond Sand Stone.



SECOND DRAFT AMENDMENT: 2008/06/17

Specification Inclusions/Exclusions

Walling:

Inclusions:

- Brick Clay or cement Bricks
- Timber cladding (max area 30%)
- Sand stone cladding

Exclusions:

- Styrox
- Dry exterior drywalling
- Sheet metal cladding
- Everite cladding
- Fake Imitation stone
- Log Cabins
- Cob / mud Housing

DRAFT AMENDMENT: 2012/05/25

Consideration should be given to the type of material used in the construction of dwellings with respect to environmentally friendly materials.

Locally sourced materials should be used where possible to minimise the embodied energy. Avoid materials that release toxic compounds and irritants. Paint & plaster finishes should have low VOC, Particle board, carpet, glue low VOC, high % recycled fibre.

Timber materials should be Certified timber, bamboo, fast growing softwood composites where possible

Windows, Doors & Shutters

(Refer to no. in Urban Design and Architectural Controls document)

- a) **Natural Timber:**
 - Teak Stain Ebony Stain
- b) **Epoxy Coated Aluminium:**
 - Manufacturer: InterponD 25
 - ANP 3055: Matt Charcoal
 - ANP 3057: Matt Dark Amber Grey
 - ANP 37030: Matt Stone Grey
 - ANP 39007: Matt Grey Aluminium
- c) **Anodised Aluminium:**
 - Natural Finish



Verandas & Pergolas (Refer to Development Controls)

- a) Verandas and pergolas to match colour and materials of windows, doors and shutters

- i. Natural untreated timber such as balau will also be permitted

2.1 Single Storey

- i. The height of the single storey dwelling, including the roof, is restricted to 6.5m above the natural ground level of the site. No portion of the building, except chimneys, shall be higher than 6.5m above any point of the natural ground level immediately below it.
- ii. No vertical face of the building shall be higher than 4.5m measured externally from finished ground level to wallplate or eaves level.

2.2 Sites A

(Refer to the Development Controls: Summary ref: 05.1292/av10 dated 28 March 2006)

- i. Sites A represent the erven with general restrictions, and includes portion development control summaries: 24 - 30; 33 - 38 (see special height restriction under 4.1.3); 47, 48; 54 - 67; 87 - 118; 119 - 124; 128 - 130; 132 - 133; 135 - 140; 147; 155 - 167; 170, 171; 173 - 179

2.3 Sites B

(Refer to the Development Controls: Summary ref: 05.1292/av10 dated 28 March 2006)

- i. Sites B represent the erven that have been identified as the Western Transition Sites, and include portion numbers 1,3 to 6,8 to 23.

2.4 Sites C

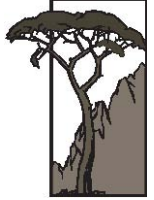
(Refer to the Development Controls: Summary ref: 05.1292/av10 dated 28 March 2006)

- i. Sites C represent the erven that have been identified as the Scenic Sites, and includes portion numbers 12,13,31,32,39- 46,49,50,70-75.

2.5 Sites D

(Refer to the Development Controls: Summary ref: 05.1292/av10 dated 28 March 2006)

- i. Sites D represent the erven that have been identified as the Riverine Sites, and includes portion numbers 51,52,53,68,69,70,76-80,81-86,125,127,131,134,141 151,152,153,154,168,169,172.



2.6 Sites E

(Refer to the Development Controls: Summary ref: 05.1292/av10 dated 28 March 2006)

- i. Sites E represent the erven that have been identified as the Boyes Drive Sites, and includes numbers 180-184

2.7 Sites F

(Refer to the Development Controls)

- i. Sites F represent the erven that have been identified as the Mountain Sites, (precincts 1, 2 & 3) and includes numbers 185-197,199-200,203- 208, 211-216.

2.8 Sites G

(Refer to the Development Controls)

- i. Sites G represent the erven that have been identified as the Mountain Stream Sites, that abut the riverine areas (precincts 2 & 3) and includes numbers 198, 201, 202, 209, 210 & 217.

Specification List

Means the list of specifications that would be permitted at Stonehurst Estate. The specification list will contain all roof finishes, window, door and shutter materials, wall finishes and materials allowed on pergolas, verandahs and balconies. (See Annexure 1)

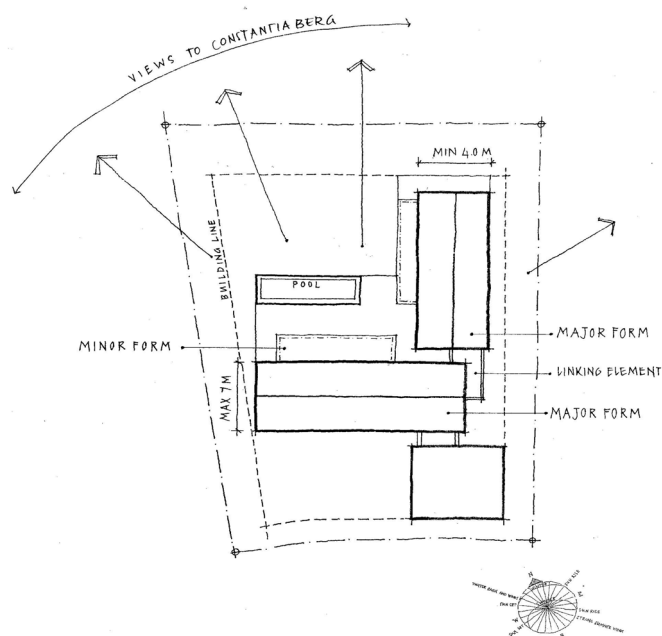
3. FORM

- 3.1 The designer should aim to position the house forms in such a way that it could create a sheltered garden or courtyard space which is protected from the South-Easter and which optimizes the views to the North and North-West.
- 3.2 The plan forms used should be small and fragmented as opposed to large and monolithic, so that the shadows cast by the many planes minimize the visual impact of the dwelling on the mountain slope.
- 3.3 House forms are to be composed of major and minor rectilinear forms: Major forms with double pitched or mono pitched roofs are limited to a maximum width of 7m and minimum of 4.0m width measured externally (see diagram 1). Minor forms consist of elements like verandahs, pergolas, concrete roofs and lean-to's.



- 3.4 The building proportion (width to length) to be at least 2:3. The length of the building can extend beyond this, but is restricted to a maximum length of 15m for all upper floors of double storeys.
- 3.5 Major roof forms must be parallel or perpendicular to the other major forms. These rectangular forms may be offset at any angle relative to the boundary line. If the dwelling consists of more than two major forms, one of these forms must be parallel or perpendicular to a specific boundary line, even if it is not parallel or perpendicular to the other major forms. It is encouraged that major forms follow the contours of the site.
- 3.6 The use of projecting decks, verandahs and eaves to shade walls and areas of glass and thereby break up the visual impact of the building, is encouraged. Verandahs and lean-to's shall not be more than two-thirds of the width of the major form to which it is attached.

DIAGRAM 1:
HOUSE
FORMS

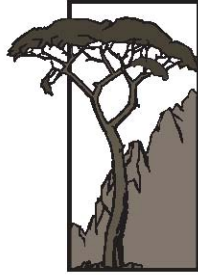


4. GENERAL BUILDING FORM CONTROL

Four residential areas have been identified within the Stonehurst Mountain Estate, and due to the location and visibility of these dwellings, differences in urban design controls have been employed for each area. The areas are Sites B (Western Transition Sites), Sites C (Scenic Sites), Sites D (Riverine Sites) and Sites E (Boyes Drive Sites). General restrictions (Sites A) apply to all the other sites, which are not included in the four residential areas.

What follows is a description for the building form controls for Sites A, and a summary of the area specific building form controls for the various areas. Please note that the Development Controls: Summary (ref: 05.1292/av10 dated 28 March 2006) attached, illustrate the various areas. **(See Relevant Annexure 2)**

ANNEXURE 2



STONEHURST

MOUNTAIN ESTATE

DEVELOPMENT CONTROLS: SUMMARY



4.1 Sites A

These are sites which are controlled by the general development controls / restrictions and are not subject to the more restrictive controls that apply to Sites B, C, D and E (see 2.23 above).

4.1.1 Coverage

Coverage refers to all the buildings and includes the main dwellings, garages, verandahs and balconies within the prescribed area.

4.1.1.1 Sites measured less than 1000m² are restricted to a maximum coverage of 40%, unless more restrictive conditions apply.

4.1.1.2 Sites that are larger than 1000m² are to have a maximum coverage of 50%, unless more restrictive conditions apply.

4.1.2 Building Lines

4.1.2.1 The building lines for each site will be indicated on the individual site diagrams. Please note that building service servitudes will override building lines.

4.1.2.2 The general sites are those sites where no specific restrictions have been incurred.

4.1.2.3 In general the building lines should conform to the following restrictions:

i. Street building lines:

Main building : 3.0m

Garages : 1.5m

ii. Common / Side Boundary lines:

Main building : 6.0m aggregate with a minimum of 2.0m on one side

Garages : Zero metres

Common / Rear building lines:

Main buildings : 3.0m

Swimming pools : 1.0m

Retaining walls : zero metre

These setbacks shall apply to all Single Residential Erven, except more onerous controls have been applied to areas identified as Sites B, C, D and E.

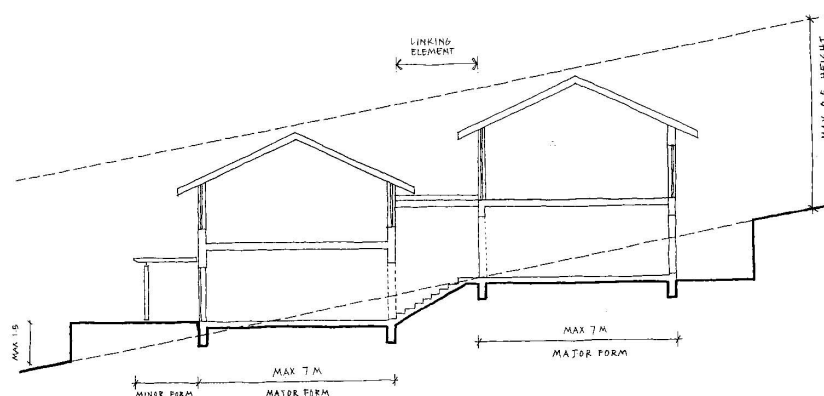


4.1.3 Height restrictions

4.1.3.1 Double and single storeys will be allowed in Stonehurst Mountain Estate. The following restrictions should be employed:

- iii. The height of the dwellings on Sites A, including the roof, is restricted to 8.5m above the natural ground level of the site. No portion of the building, except chimneys, shall be higher than 8.5m above any point of the natural ground level immediately below it.
- iv. Sites 24 – 30; and 33 – 38 is restricted to 8.0 m above the natural ground level of the site.
- v. No external wall of any dwelling to have a vertical plane of more than 7.0m measured externally from finished ground level to wall plate or eaves level.

DIAGRAM 2: DOUBLE STOREY RESTRICTIONS



The natural ground level will be as surveyed and issued by the Developer on registration of transfer of the portion. These details are to be submitted to the Director: Planning & Development for approval prior to transfer clearance of any portion, within the relevant phase, being issued. The survey is to indicate 1m intervals for the buildable area of each portion number.

4.1.4 Parking

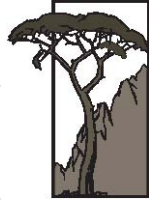
Provision must be made for two visitor-parking bays on each site in addition to the residents parking (not applicable to the Grouped Residential sites: Stonehurst Close and Stone Village).

4.2 Sites B

These sites are located in the Western Transition Zone area (see 2.24 above).

4.2.1 Coverage

- 4.2.1.1 Site B is limited to a maximum floor space of 400m². This includes all garages, outbuildings and covered balconies, decks terraces, patios and verandahs.



4.2.2 Building Lines

4.2.2.1 The building lines for each site will be indicated on the individual site diagrams.

4.2.2.2 An aggregate side building space of 9m must be created, with the setback on one side measuring at least 3.0m.

4.2.2.3 Please note that building service servitudes will override building lines.

4.2.2.4 In general the building lines will conform to the following restrictions:

i. Street Boundary:

Main building & garages :3.0m

ii. Side (common) Boundary:

All building components (including garages):
9.0m aggregate with a minimum of 3.0m on one side of the building

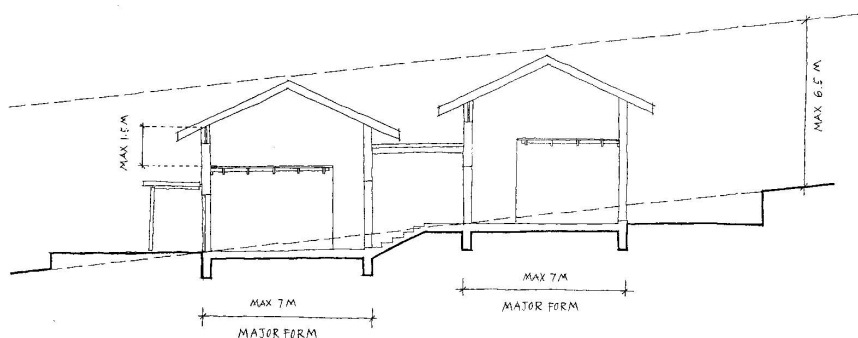
iii. Rear (common) Boundary:

Main building (including minor building forms) :
6.0m

4.2.3 Height Restrictions

4.2.3.1 The height of all structures is limited to a maximum of 6.5m from natural ground level. No portion of the structure, except chimneys, shall be higher than this height above the point of the natural ground level immediately below it.

DIAGRAM 3: SINGLE STOREY RESTRICTIONS



4.2.4 Fencing

4.2.4.1 Visually permeable fencing must be installed on the natural interface / urban edge side of the property.



4.3 Sites B: Further interpretation on Area of floor space.

If we look at the intent to limit built fabric of the control document Definition, it lists in its limitation of Floor space Built structures:

- Garages.
- Outbuildings
- Covered balconies definition (2.3)
- Covered terraces definition (2.18)
- Covered verandah's. CCC zoning scheme definition
- Covered decks (item 4.2.1) definition (2.6)
- Covered patios (item 4.2.1)

Uncovered surfacing is not included in the calculation. Driveways and yard areas are not included in this limitation.

The paving materials of these surfaces must be approved exterior finished as per the Design Manual.

4.4 Sites C

These sites are located adjacent to the scenic routes of the area, namely Ou Kaapse Weg and Steenberg Road (see relevant clause above).

4.4.1 Coverage

4.4.1.1 Coverage refers to all the buildings and includes the main dwellings, garages, verandahs and balconies within the prescribed area.

4.4.1.2 Sites measured less than 1000m² are restricted to a maximum coverage of 40%, unless more restrictive conditions apply.

4.4.1.3 Sites larger than 1000m² are to have a maximum of 500m², unless more restrictive conditions apply.

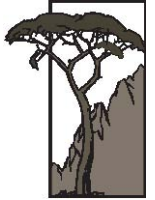
4.4.2 Building Lines

4.4.2.1 The building lines for each site will be indicated on the individual site diagrams.

4.4.2.2 On extreme sloping sites identified on the Site Development Plan, garages may be placed 1.5m from the street boundary.

4.4.2.3 Please note that building lines will conform to the following lines.

4.4.2.4 In general the building lines will conform to the following restrictions:



iv. Street boundary:

Main building & garages 3.0m

v. Side (common) boundary:

Main building & garages:
6.0m aggregate with a minimum of 2m on one side
of the building

vi. Rear (common) boundary:

Main building (including minor forms) : 6.0m

vii. Boundaries facing onto scenic routes:

Main building and garages
10.0m

4.4.3 Height Restrictions

4.4.3.1 The height of all structures is limited to a minimum of 6.5m from natural ground level. No portion of the structure, except chimneys, shall be higher than this height above the point of the natural ground level immediately below it.

4.4.4 Fencing

4.4.4.1 Visually permeable fencing must be installed on the scenic route side of the property.

4.5 Sites D

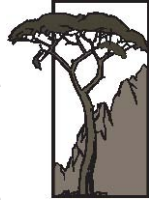
These sites all border onto riverine corridors (see 2.26 above).

4.5.1 Coverage

4.5.1.1 Coverage refers to all the buildings and includes the main dwellings, garages, verandahs and balconies within the prescribed area.

4.5.1.2 Sites measured less than 1000m² are restricted to a maximum coverage of 40%, unless more restrictive conditions apply.

4.5.1.3 Sites larger than 1000m² are to have a maximum coverage of 500m², unless more restrictive conditions apply.



4.5.2 Building Lines

4.5.2.1 The building lines for each site will be indicated on the individual site diagrams.

4.5.2.2 On extreme sloping sites identified on the Site Development Plan, garages may be placed 1.5m from the street boundary to the approval of the Design Review Committee.

4.5.2.3 Please note that building service servitudes will override building lines.

4.5.2.4 In general the building lines will conform to the following restrictions:

i. Street boundary:

Main building & garages : 3.0m

ii. Side (common) Boundary:

Main building:
6.0m aggregate with a minimum of 2m on one side of the building

iii. Garages:

0.0m, provided that no windows or any overlooking features occur on this boundary.

iv. Rear (common) boundary:

Main building (including minor building forms) :
6.0m

4.5.3 Height Restrictions

4.5.3.1 The height of all structures is limited to a maximum of 8.5m from natural ground level. No portion of the structure, except chimneys, shall be higher than this height above the point of the natural ground level immediately below it.

FIRST DRAFT AMENDMENT: 2006/12/05/12

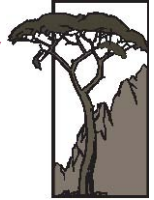
4.5.4 Environmental - Riverine Buffer Widths

All homes in the Riverine Sites D are required to submit a Site Environmental Management Plan (EMP) in respect of their plan submission process to the local authority's Environmental Officer for approval.

No hard structures (ie no paving, no loose flagstones and no walls are to be constructed in the riverine buffer width)

Palisade fencing (permeable fencing in the riverine buffer area will consist of "cemented in "fencing posts only.

Solid walling may not be built within this 5m building zone, only visually permeable fencing and palisading. Retaining Gabions may be considered upon each applications merits and location.



4.6 Sites E

These sites in the east of the Estate overlook Boyes Drive (see 2.27 above).

4.6.1 Coverage

4.6.1.1 Sites E are limited to a maximum floor space of 400m². This includes all garages, outbuildings, covered balconies, decks terraces, patios and verandahs.

4.6.2 Building Lines

4.6.2.1 The building lines for each site will be indicated on the individual site diagrams. Specific building lines have also been determined to define the urban edge and to preserve certain open spaces. These building lines will be indicated on the overall layout plan.

4.6.2.2 On extreme sloping sites identifies on the Site Development Plan, garages may be placed 1.5m from the street boundary.

4.6.2.3 Please note that building service servitudes will override building lines.

4.6.2.4 In general the building lines will conform to the following restrictions:

i. Street Boundary:

Main building & garages :3.0m

ii. Side (Common) Boundary:

Main building: 4.5m aggregate minimum of 2m side of the building. Garages: 0.0m, provided that no windows or any overlooking features occur on this boundary.

iii. Boundaries Facing onto Boyes Drive:

Main building and garages 10m

iv. Height restrictions

The height of all structures is limited to a maximum of 6.5m from natural ground level. No portion of the structures, except chimneys, shall be higher than this height above the point of the natural ground level immediately below it.

4.6.3 Fencing

4.6.3.1 Visually permeable fencing must be installed on the edge facing Boyes Drive.



4.7 Sites F – Mountain sites

These sites are located adjacent to the mountain reserve, SA Navy property and abuts the scenic routes of the area, namely Ou Kaapse Weg. (see 2.7 above).

4.7.1 Total Floor area

4.7.1.1 Sites F are limited to a max total floor area of 400m². This includes garages, main dwellings, outbuildings, decks terraces verandah's and covered balconies.

4.7.2 Coverage

4.7.2.1 Sites F are limited to a max coverage of 400m². This includes all buildings including the main dwellings, outbuildings, garages, covered verandahs and covered balconies, but excludes eaves.

4.7.3 Building Lines

4.7.3.1 On steep sloping sites (steeper than 1:4) garages the Estate will approve & support departure applications so that the Garage may be placed 1.5m from the street boundary.

4.7.3.2 Please note that building lines will conform to the following lines as per current LUPA DMS July 2015.

i. Street boundary:

Main building & garages Site 1000-2000 m ²	4.5 m
Main building & garages Site > 2000m ²	6.0 m
Garages (Steep Sites)* Departure to CCC	1,5m

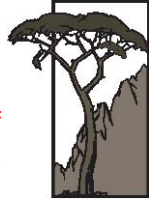
ii. Side (common) boundary:

Main building & garages Site 1000-2000 m ²	3 m
Main building & garages Site >2000 m ²	6 m

iii. Garages (Steep Sites) provided that no windows or overlooking features occur on this boundary * Departure to CCC 0 m

iv. Rear (common) boundary:

Main building & garages Site 1-2000 m ²	3 m
Main building & garages Site >2000 m ²	6 m



4.7.4 Height Restrictions

4.7.4.1 The height of all structures is limited to a maximum of 6.5m from natural ground level. No portion of the structure, except chimneys, shall be higher than this height above the point of the natural ground level immediately below it.

4.7.5 Parking

4.7.5.1 Provision must be made for minimum of four onsite parking bays (inclusive of garaging) on each site.

4.7.6 Fencing

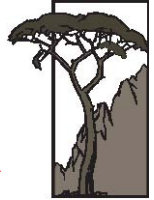
4.7.6.1 Visually permeable fencing must be installed on the riverine side of the property, and Urban edges (South boundary abutting the Estate security fence SA Navy).

4.7.6.2 A security path of 1,2m to provide access to service & patrol the perimeter security fence (SA Navy) abutting is to be left clear. The homeowner must erect a safety fence the specification and colour is to match the estate perimeter fence. It is to be a visually permeable "safety" barrier to keep persons 1,2m from the perimeter security fence (min Height 1,2m).

4.7.6.3 A landscape zone, 2m wide from the security path at the rear of the property for sites 185 - 189, 191 - 194, 211 - 216 must be installed by the homeowner. This is to be densely landscaped with planting and tall shrubs to screen the sites with "Tarchonanthus Campharatus" or Camphor Bush a minimum of 70L plant each 2m.

4.7.7 Environmental Contract SEMP & OEMP

4.7.7.1 A Site Environmental Management Plan (SEMP) and the Operational Environmental Management Plan (OEMP) are required to be approved by the Environmental Site Officer (ESO), prior to construction activity, including excavation and / or any site clearing and site establishment.



4.8 Sites G – Mountain stream

These sites are located adjacent to the mountain riverine corridors and SA Navy property. (see 2.8 above).

4.8.1 Total Floor area

4.8.1.1 Sites G are limited to a max total floor area of 400m². This includes garages, main dwellings, outbuildings, decks terraces verandah's and covered balconies.

4.8.2 Coverage

4.8.2.1 Sites G are limited to a max coverage of 400m². This includes all buildings including the main dwellings, outbuildings, garages, covered verandahs and covered balconies, but excludes eaves.

4.8.3 Building Lines

4.8.3.1 On steep sloping sites (steeper than 1:4) garages the Estate will approve & support departure applications so that the Garage may be placed 1.5m from the street boundary.

4.8.3.2 Please note that building lines will conform to the following lines as per current LUPA DMS July 2015.

i. Street boundary:

Main building & garages Site 1000-2000 m ²	4.5 m
Main building & garages Site > 2000m ²	6.0 m
Garages (Steep Sites)* Departure to CCC	1,5m

v. Side (common) boundary:

Main building & garages Site 1000-2000 m ²	3 m
Main building & garages Site >2000 m ²	6 m

vi. Riverine (side boundary):

Main building & garages (including minor forms) No hard structures. (Visually permeable fencing only)	5.0m
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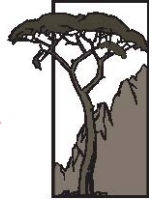
vii. **Garages (Steep Sites)** provided that no windows or overlooking features occur on this boundary * Departure to CCC 0 m

viii. Rear (common) boundary:

Main building & garages Site 1-2000 m ²	3 m
Main building & garages Site >2000 m ²	6 m

4.8.4 Height Restrictions

4.8.4.1 The height of all structures is limited to a minimum of 6.5m from natural ground level. No portion of the structure, except chimneys, shall be higher than this height above the point of the natural ground level immediately below it.



4.8.5 Parking

4.8.5.1 Provision must be made for minimum of four onsite parking bays (inclusive of garaging) on each site.

4.8.6 Fencing

4.8.6.1 Visually permeable fencing must be installed on the riverine side of the property, and Urban edges (South boundary abutting the Estate security fence SA Navy).

4.8.6.2 A security path of 1,2m to provide access to service & patrol the perimeter security fence (SA Navy) abutting is to be left clear. The homeowner must erect a safety fence or similar approved visually permeable barrier to keep persons 1,2m from the perimeter fence (min Height 1,2m).

4.8.6.3 A landscape zone, 2m wide from the security path at the rear of the property for sites. This is to be densely landscaped with planting and tall shrubs to screen the sites with "Tarchonanthus Campharatus" or Camphor Bush a minimum of 70L plant each 2m.

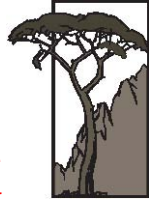
4.8.7 Environmental Contract SEMP & OEMP

4.8.7.1 A Site Environmental Management Plan (SEMP) and the Operational Environmental Management Plan (OEMP) are required to be approved by the Environmental Site Officer (ESO), prior to construction activity, including excavation and / or any site clearing and site establishment.

FOURTH DRAFT AMENDMENT: 2011/02/17 - Insertion of Definition

4.9 Floor Space

- i. Floor space in relation to a dwelling house means the area of every floor of the dwelling as measured from the inner face of the exterior walls or similar supports of such dwelling. When the dwelling consists of more than one storey, the total floor space shall be the sum of the floor space of all the storeys.
- ii. For the purpose of measuring maximum floor space, garages, outbuilding and covered balconies, terraces, patios and verandahs shall be included.



Note

As the limitation on floor space was intended to limit the “Visual Impact” on the mountainside. It is therefore proposed that where this visual impact is “hidden” or “concealed”, that the space that is concealed from view, and complies with the Zoning schemes more restrictive interpretation of “basement” Clause 60(6) whereby coverage and setback are unaffected by spaces “completely below the Existing Ground Level or EGL” will be supported. As the natural ground level (NGL) has been documented and this will prohibit manipulation of the NGL to create additional height and therefore any impact has been effectively controlled by this, the following “Total Floor Space” description is therefore proposed:

4.9.1 Total Floor Area sites F & G

- i. Any spaces that are “Completely Below” the EGL Existing level (EGL), will not be deemed to be included in floor space. Provided where any areas “Completely below” the EGL. Should this space project beyond the 400 sqm coverage footprint the areas must be covered with a min of 750 mm of soil & are planted with landscaping (ref diag X). The finished ground level abutting these spaces may only be below the ceiling of the space for access stairs (max width 1,5m), ventilation slots (max width 1,5m), (Diag Z) vehicle entrances (max width 4,8m) which may not be visible from any public area (road, riverine area, P.O.S, etc) on the Estate refer diagram Y).

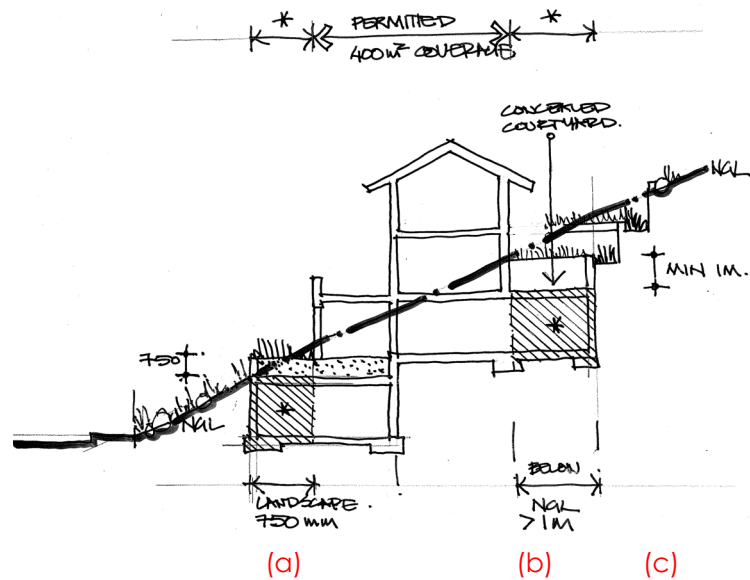


Diagram X Total Floor Area Exclusion - Areas must be “Completely Below the EGL” (areas to be under legal footprint (b), or if projecting beyond the legal footprint must be covered by 750 mm soil & landscaping(a), or must be concealed from view with earth retaining and be a min of 1m below the NGL (b).

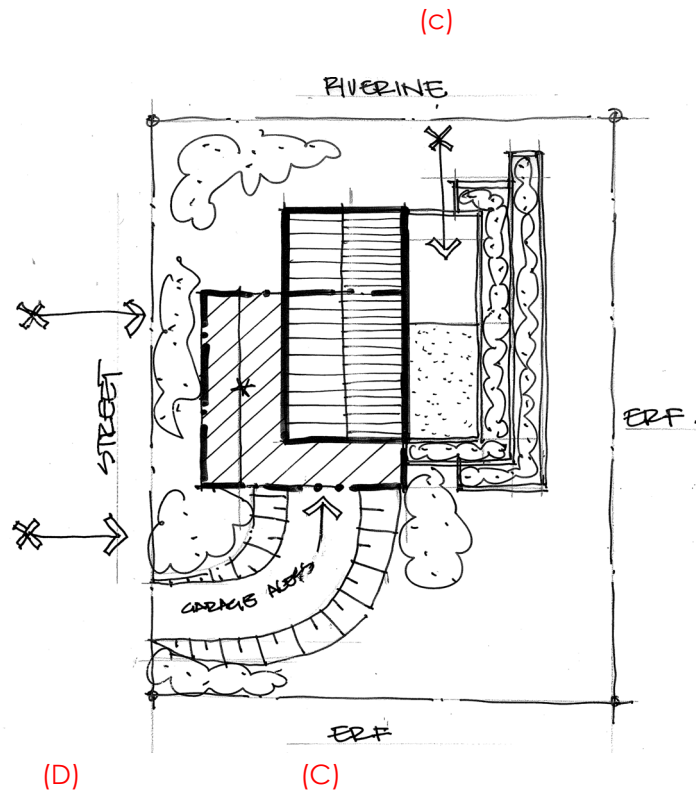
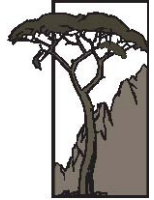


Diagram Y

Total Floor Area Exclusion - Areas to be "Wholly underground" *
 Access to areas to be concealed from P.O.S. or riverine areas (c), or concealed from street (d), such as garage entrances (c)

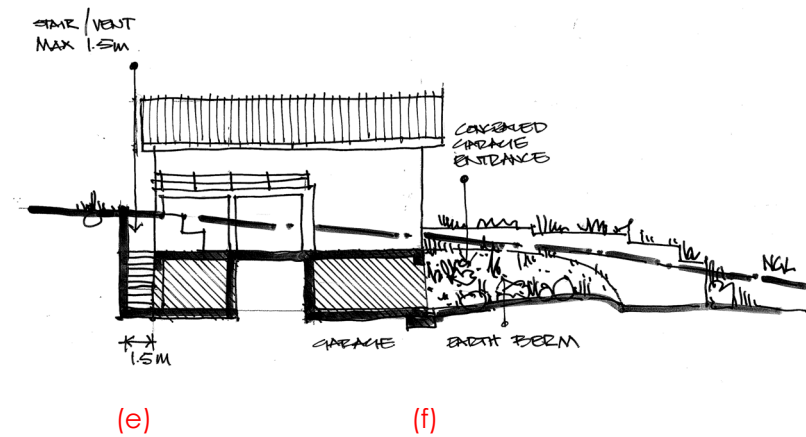
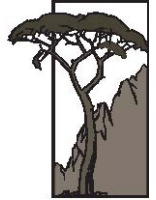


Diagram Z

Total Floor Area Exclusion - Areas to be "Completely underground" *
 Vent / stair slots max width 1,5m (e) garage opening (f) max width to be 4,8m, and to be concealed from street, public places, (read with diagram Y).

Note

This exclusion of Floor area as noted above is supported by the Estate, but may be subject is still to Local authority approval, and applications.



5. ROOFS

5.1 General

5.1.1 It is encouraged that major plan forms are to be broken up into individual components and roofed individually.

5.1.2 The roofs can be linked with flat concrete or corrugated roofs; or other connecting elements. This may be necessary in order to accommodate level changes.

5.2 Permissible Major Roof Forms:

It is intended to allow a number of different roof forms in order to allow architectural expression and create variety.

5.2.1 Symmetrical double-pitched roofs with a pitch of 17°-35° and a maximum span of 7m.

5.2.2 Simple mono-pitches with a minimum pitch of 10°-17°. Roofs to follow the slope. Please note that in the event of using a mono-pitched roof adjacent to a street boundary, the vertical face of the wall may not be higher than 5.5m.

5.2.3 Asymmetrical double pitched roofs i.e. one length shorter than the other where longer length shall follow the slope of the site (roof pitch between 17°-35°).

5.2.4 Hipped roofs on rectangular building forms with a pitch of 17°-35°. All the roof pitches of the various roof forms (major elements) of one house shall be of the same pitch.

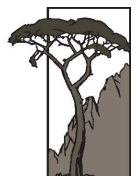


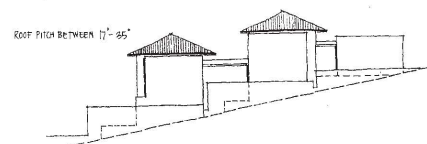
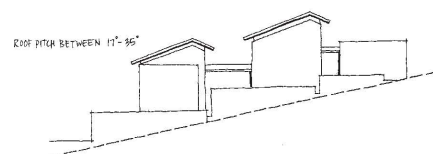
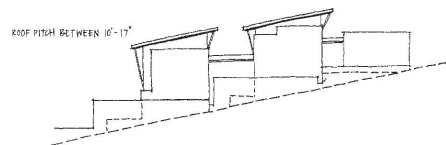
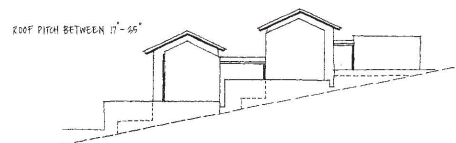
DIAGRAM 4: Permissible Roof Forms

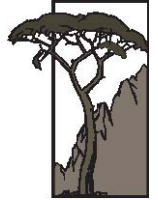
5.3 Minor Roof Forms & Linking Roofs:

5.3.1 Lean-to and verandah roofs shall have a pitch between 5° and 25°.

5.3.2 A flat roof (minor element) needs to be incorporated on any 0.0m building line.

5.3.3 No overlooking features on side boundaries (see 2.17).





5.4 Garage Roofs

- 5.4.1 Inclusion of garages as part of a major building form is encouraged.
- 5.4.2 Free standing or semi-detached garages should be roofed with a flat concrete or corrugated roof concealed by parapet walls.

5.5 Gables & Eaves

- 5.5.1 Large eaves are generally recommended, in order to shade large areas of glass. Roofs must extend over walls, with a minimum overhang of 1000mm. Eaves overhang is 1000mm from the finished exterior wall surface.
- 5.5.2 No clipped eaves will be allowed.

5.6 Roof Lights and Roof Windows

- 5.6.1 Roof lights and roof windows are to be set into the plane of the roof. Max size 780mm x 1400mm.
- 5.6.2 Dormer windows are not allowed.

5.7 Roof Materials & Colour

- 5.7.1 Materials for roof finishes must be natural slate, or corrugated iron.
- 5.7.2 Glazing may be used on verandah roofs, but must be limited to a portion of the roof set in from the outside edge.
- 5.7.3 Flat concrete roof elements will be limited to 20% of the total floor space of the house.
- 5.7.4 Flat roofed areas are to be finished in natural stonechip, in brown or grey colours, if not utilized as roof decks. Reflective finishes or aluminum paint are not allowed.
- 5.7.5 Colours and specification will be part of the detailed specification document.



5.8 Roofs

5.8.1 Flat Roof Controls

- (Are considered to be any roofs less than 5 degrees)
- Are not limited to concrete roofs only but inclusive of Chromadeck & Kliplock roofing as well

5.8.2 Roofscapes

A uniform Roof type per home is required.

Only a grouping of the same roof type will be permitted for a home, as per Diagram 4.

6. WALL CONSTRUCTION AND FINISHES

6.1 Walls may be constructed of clay brickwork. No facebrick shall be permitted.

6.2 All external masonry walls to be at least 280mm cavity wall construction.

6.3 30% of the surface of the walls of al building form (including garages) may be of "ship lapped" hardwood boarding.

6.4 20% of the external walls of al building form (including garages) may be constructed or dressed with natural stone. The stone can be used to create a plinth (600mm) or to create a feature wall of natural stone.

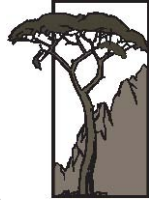
6.5 Decorative plaster mouldings, quoins or rustication will not be permitted.

6.6 Wall colours shall be selected from the natural colour palette as prescribed in the specification document.

SECOND DRAFT AMENDMENT: 2008/06/17/06

6.7 Wall Finishes

- i. Bagged walls are not permitted as an exterior wall finish.
- ii. The exterior wall finish shall be a smooth plaster finish.

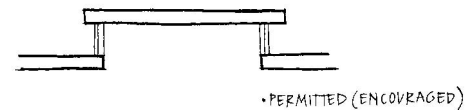
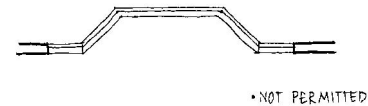


7. WINDOW TYPES AND FINISHES

In the design of fenestration it is intended there should be large glass areas where the walls give way to glazing, to take advantage of the views, whilst other smaller windows are set within solid wall planes as “punctures/ apertures”.

7.1 Windows may be any type, and have any form and proportion, except for the following:

- i. “Windblock” type window frames
- ii. Plastic (PVC) frames
- iii. Reflective glass
- iv. Cottage pane windows



7.2 Splayed windows will not be permitted

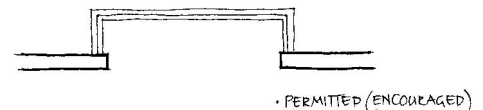


DIAGRAM 5: WINDOW SECTIONS

7.3 Large areas of glass should be shaded by roof overhangs.

7.4 Materials may be natural or painted timber, epoxy coated or anodized aluminum

7.5 Colours: The following information to be part of the specification list.

8. DOOR TYPES AND FINISHES

8.1 All door openings to have rectilinear proportions. No arches will be permitted.

8.2 The following doors will not be permitted:

- Ornate and carved doors
- Cottage pane frames

8.3 Garage Doors are to be of the horizontal slat type in either timber, aluminum or steel.

8.4 Materials may be natural or painted timber, epoxy coated or anodized aluminum.

8.5 Colours: The following information to be part of the specification list.

9. SHUTTERS

9.1 The use of shutters is encouraged. Non-functional shutters will not be permitted.

9.2 The material and finishes to match the windows and doors of the house.



10. BURGLAR BARS

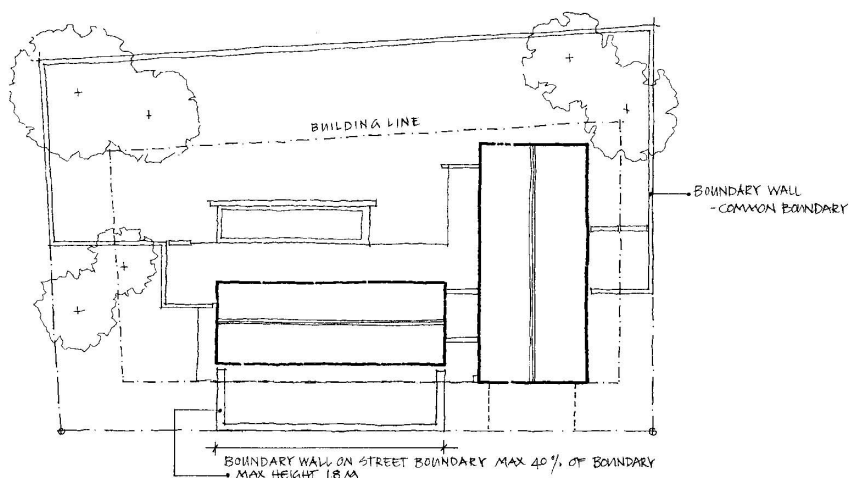
- 10.1 Designs should be simple, without ornate detail. All designs are subject to review by the Design Review Committee.
- 10.2 No external burglar bars will be permitted
- 10.3 No "Trellidoor" or other metal security doors will be allowed externally.

11. EXTERNAL BUILT ELEMENTS

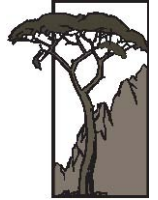
11.1 Perimeter Fences and Boundary Walls:

- 11.1.1 Continuous boundary walls or fences on street boundaries shall not be more than 40% of any street boundary. The placement of building components should be used to create enclosure and privacy of garden spaces. Landscaping should further be used to create privacy where required. If additional fencing is required, this should be set back to building line, or beyond this line.

DIAGRAM 6: Boundary Enclosure



- 11.1.2 Fragmented walls, enclosing gardens and courts to either side of the main buildings, are encouraged. Low walls (max 1.2m high) should be used to create external "rooms" associated with and directly linked to buildings to form courtyards.
- 11.1.3 Boundary fences on common boundaries are restricted to 1.8m visually permeable and 1.2m if visually non-permeable. Refer to the Manual for Boundary wall Design
- 11.1.4 No "vibracrete" walls will be allowed. The style of the fence shall either match the architectural style of the building, or match the aesthetic of the Estate, namely low stone walls or stone columns with steel palisade. All stonework is to be done by a stonemason approved by the estate/ developer and palisade type and colour is to match the palisade used elsewhere on the estate. No artificial rock to be used in lieu of genuine rock.



FIRST DRAFT AMENDMENT: 2006/12/05

11.1.5 Drying Yard Walls (Refer to Item 11.1.2)

Walls to laundry / refuse / service yards are fully screened and may be 1,8m in height, with a limit to the maximum size of the yard (say 30 sqm) so that it is controlled. These may only occur on one common boundary, and be designed in such a way that no long expanses of wall remain unfragmented, and have a maximum length of 10m.

11.1.6 Screening/ Privacy Walls (No reference in the Design Manual)

Screening/ Privacy Walls for pool areas must be visually attractive and may be permitted by the DRC upon application provided that the wall blends with the landscape, such as a stone clad wall (both sides) max ht 1.8m, with a maximum length of 8m. The wall must not impact visually within the development, and that any such wall elements be located on common boundaries, not street so as to ensure the visual impact on the mountain side is controlled. No walls would be permitted on the scenic routes, Boyes drive, urban/natural and riverine edges.

A Drying yard and Privacy Wall may not exceed the maximum of 10m per site (privacy walls max 8m, the balance may be used for Drying yard walls).

Group Sites (StoneVillage & StoneClose) are exempt from the wall height controls as SDP's for both sites were pre-approved by the Local Authority .

11.1.7 Heights:

All heights are to be taken from Natural ground Level - NGL as defined in the manual. Where there is a significant slope then the top of the wall must either slope to follow the land or if the wall steps (horizontal top of wall) then the max height of wall above the NGL will be 2.4m. Should cutting occur to lower the ground level below NGL this then section 11.2 will apply.

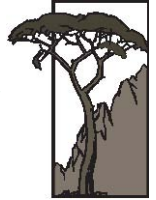
THIRD DRAFT AMENDMENT: 2009/07/30

11.1.8 Boundary Walling / Retaining Combinations.

The DRC proposes that any wall that lies between the boundary and the appropriate building setback line will be considered a boundary wall.

The height is to be taken from NGL (to a max of 2.4m, due to slope of the ground).

If a wall is on top of a retaining structure then it must comply with Diagram 7 of the design manual and step 1m each 1,2m of height, see diagram 7b i.e. it must be setback 1m from the edge of the retaining wall.



Any structures not setback at the top of a retaining wall must be visually permeable, refer to section 5 of the design manual for clarification and see diagrams 7b.

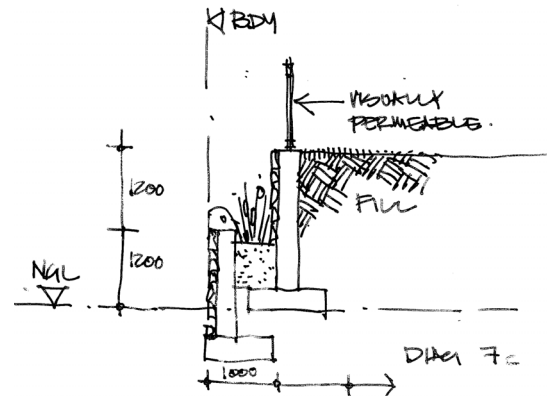
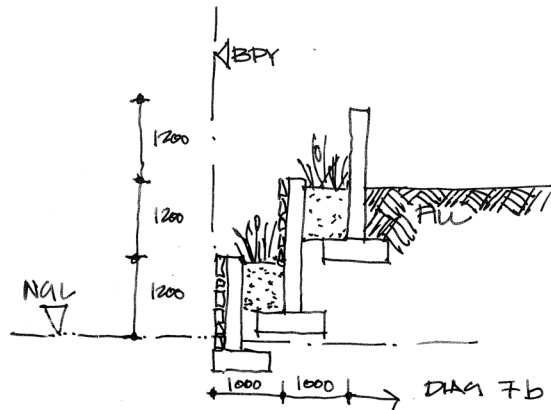


Diagram 7b

Diagram 7c

The max height of the “visually permeable” fencing (see Diagram 7c above) will be 1.2m above the filled or step level for street facing boundaries.

The max height of the “visually permeable” fencing (see Diagram 7c above) will be 1.8m for common (side or rear) boundaries.

Where a site slopes the max height of a retaining step is to be 1.2m, unless at the discretion of the DRC (and neighbours consent is obtained) it may rise to not more than 1.6m max above the NGL.

Allowance must be made for the thickness for the stone-cladding to be within the property boundary.

Visually permeable fencing shall be used at the defined residential areas as described below:

- Sites B: on the natural / urban edge side of the portion
- Sites C: on the side of the portion that face onto a scenic route
- Sites E: on the edge facing Boyes Drive

11.1.9 The use of climbing plants on walls, buildings, trellises and fences and indigenous shrub screens or informal hedges to be encouraged.

11.1.10 All fences, screens or walls shall be submitted for the approval of the Design Review Committee.

FIRST DRAFT AMENDMENT: 2006/12/05



11.2 Visually Permeable Fencing

11.2.1 Boundary Walls & Perimeter Fences (Refer to Item 11.1.3)

All properties are restricted to the 1.2m wall height (solid) or the 1.8m fence height (visually permeable).

Visually permeable fencing should be a minimum of 50% open, when viewed from outside. The solid substructure for Planted structures must not exceed 50% solid, but the planting may become 100%, and hedges are permitted.

The following would be accepted, provided they have a minimum open area of 50%:

T.E.S.A Serengeti Pallisading Steeldale: Victorian Pale Fencing (square top only)
Bekaert Beta Bastion Medium panel system
Bekaert Polyester Coated 50mm by 50mm by 25mm weld mesh fencing (black) with fencing stanchions
Propergate: Custom Pallisading (without spear top)

The above to be in charcoal or matt black. These may be used in combinations of Brick, stone clad and plastered piers also. Solid piers should be designed to suit the module of the system chosen but not be less than 3m apart. The use of all other systems are subject to approval.

As recommended by the estate's landscape architects,(CNdeV) – palisade fencing is to match the estate's perimeter fencing specification ; "Graphite", from the Plascon Expressions range (Code E – 29 -7)

SECOND DRAFT AMENDMENT: 2008/06/17

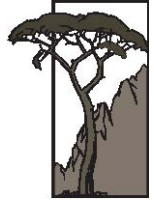
11.3 Palisade Fencing:

The following fencing has been added to the approved list.

Clear Vu 2 per Cochrane Security (021)7831214 (visually permeable fencing) to the design specs.

This may be used without spike topping , provided it is **Black, colour ref RAL 9005 only**.

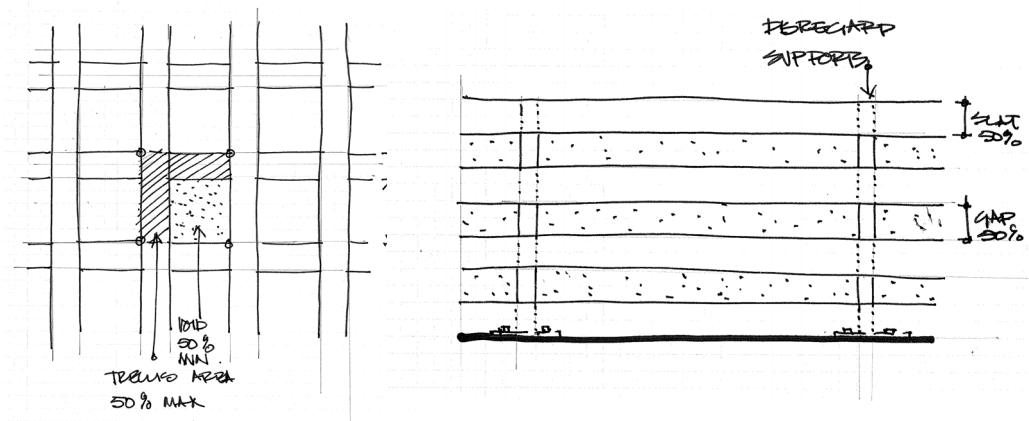
BETAfence Nyloflor Medium, in a charcoal/ antrachit colour is approved. This is a 4,4mm wire with a 100 x 50mm spacing Panel sizes are available in 2500mm widths at 3 height options 1539,1730 and 2030.



11.4 Visually Permeable Fencing:

The design manual specifies that certain fencing must remain visually permeable. In addition to item 1 of the 1st Draft amendments, the following is applicable.

- 11.4.1 Horizontal slat fencing- the spacing between the slats must be equal to the timber size (structure may be generally ignored if at reasonable centres, min 1m).
- 11.4.2 Timber lattices (vertical & horizontal) the openings need slightly more than double the width of the trellis width (approx. 2.25) to maintain a 50 % open portion.



50% visually permeable lattice 50% permeable slatted screen

- 11.4.3 Timber lattices to the two group housing estates, to the northern boundary of Stone-Village & Stonehurst Close, facing the road only, the openings may be reduced to 25 % (i.e. trellis may be 75% solid). This timber fence must be a minimum of 1m from the perimeter security fencing for maintenance purposes.

11.5 Retaining Walls, Steps and Ramps

11.5.1 External changes in level shall generally be addressed by creating terraces with low stone retaining walls and steps or ramps. Terraces are to be constructed using dressed, random or dry-packed stone walls. Timber or sleeper retaining walls (unpainted) and timber retaining structures may be used, if planted using indigenous planting as per planting guidelines. No "Terraforce" type stacked blocks will be allowed.

11.5.2 Retaining Structures:

- i. The siting of buildings, terraces and gardens are to be planned in accordance with the sloping of the site.

- ii. No single retaining wall shall exceed 1.2m height. Retaining wall which exceed this height shall be terraced and stepped back by at least 1m (see diagram – NOTE: 1.5m indicated on drawing is incorrect).

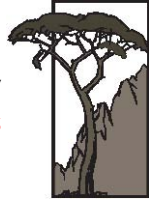
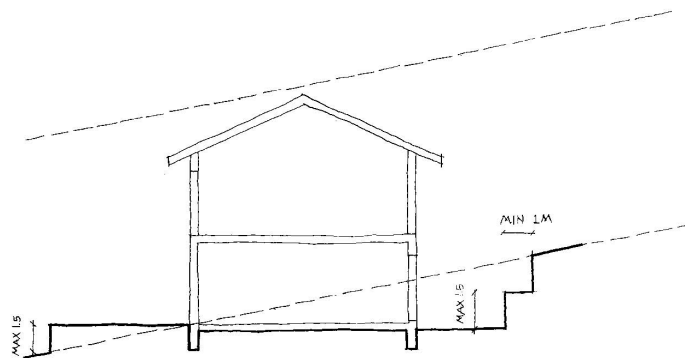


DIAGRAM 7: RETAINING WALLS



- 11.5.3 Materials of retaining walls are to be natural stone. The walls may be built of stone or with stone facings to masonry backup wall. The stone may be laid in random rubble or coursed rubble pattern with recessed cement mortar.
- 11.5.4 Unpainted Tanalith treated pole retaining structures up to 1.0m may be used if planted with indigenous plants as per planting guidelines
- 11.5.5 Finishes permitted on walkways and terraces are:
 - i. Granite or concrete cobble stones, clay brick pavers in approved colors, natural sandstone, slate gravel, laterite and timber.
- 11.5.6 All retaining structures of any nature shall be submitted to the Design Review Committee (DRC) for approval.

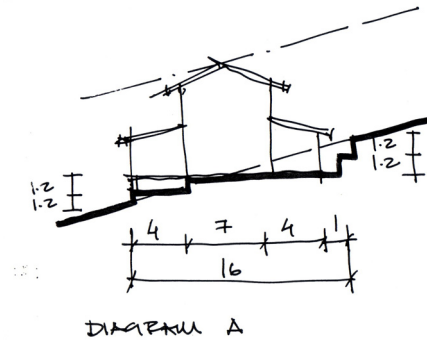
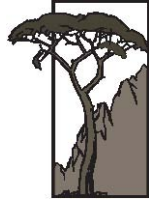
FIRST DRAFT AMENDMENT: 2006/12/05

11.6 Building Platforms

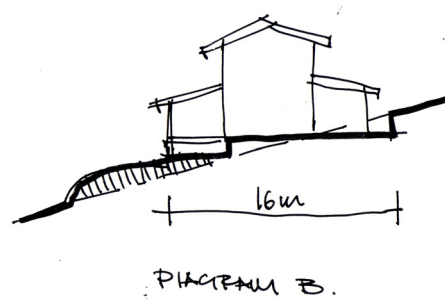
The max cut is 1.2m provided it steps 1m it may be higher, only if stepped. This may not be exceeded (both in terms of the conditions of approval and design manual text) -

The 1.2m stepped retainer walls provided it steps as per **Diagram 7** of the Manual, except that the height of **each step should read 1.2 (Not 1.5m) applies to all sites.**

Where the DRC is comfortable with the proposal it will only consider cuts that exceed this with the proviso for steep sites (greater than 1:4 slope), and that special application need to be made to the Director planning and environment, and the applicant should obtain adjoining and abutting neighbour's consent, and approval from the Home Owners Association (HOA).



To avoid this some applicants may then wish to fill and create earthed embankments (without limit), which would be more visible and unsightly, refer Diagram B below. However, this will be difficult to landscape effectively and maintain and most probably result in erosion.



We would prefer to have the cut behind the homes between the home and the mountain, using the stepping guideline of 1.2m (diagram 7). This will have a lesser impact on the estate and obviously need to be controlled. We therefore propose the following:

Where there is filling the embankment may not exceed 1:3 slope which should resist erosion if properly landscaped, and to a max height of 3m, measured from the NGL. The embankment must be well landscaped and shaped to give it a natural appearance, and must be softened with planting.

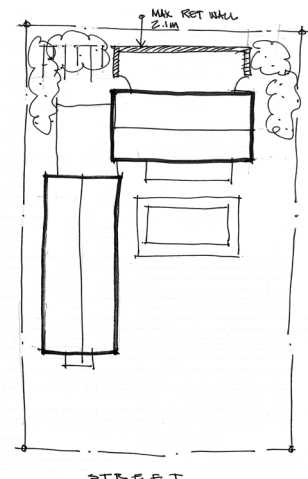
We also wish to include gabions (filled with local stones) as a means to construct retaining walls within the same guidelines, in addition to stone faced walls and tanalith poles. All these must comply with Diagram A.

THIRD DRAFT AMENDMENT: 2009/07/30

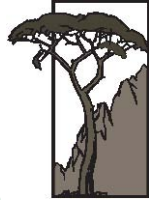
11.7 Retaining Walling

Retaining wall "concealed" by house

Retaining walls behind houses i.e. between a house and a retaining wall enclosed by the house or a yard, or courtyard, that is not visible from any surrounding properties, may at the discretion of the DRC have the stone work omitted. These walls should be a dark colour, and / or softened and screened with planting (from below / above).



“Baby Elephant” and “Maison Blanche” are considered to be Dark colours.



All applications must be submitted and approved indicating the stone cladding, but the Estate may allow this finish to be omitted only upon final inspection (as it is difficult to establish the amount of screening from plans submitted, or to assess the positions from which the wall may be viewed from).

Furthermore these concealed walls may exceed the limit of 1.2m height but not more than 2.1m in height (total face of the wall). Engineer's certification and drawings will be required, prior to approval.

11.8 **Verandahs & Pergolas**

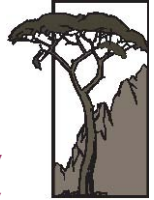
- 11.8.1 Verandah and pergola posts may be masonry, timber or steel, or a combination of these. These minor forms are to be simple in form and without imitation of Period Architectural styles.
- 11.8.2 Colours and materials are to match the windows and doors of the house.
- 11.8.3 No Victorian cast iron “Broekie Lace” detail will be allowed. Louvred pergolas shall be permitted (colours need to match doors and window specification).

11.9 **Timber Decks**

- 11.9.1 The maximum height of deck supports shall be 1.2m.
- 11.9.2 Supports may be of the following types:
 - i. Double or single timber posts
 - ii. Steel posts (colour charcoal grey/ black)
 - iii. Natural stone piers

11.10 **Balconies**

- 11.10.1 No balconies will be permitted on common boundaries. Balconies can only be placed on street boundaries and facing boundaries, which faces onto an open space.
- 11.10.2 Floors of balconies are to be finished in materials of neutral shades. They can be ochre tinted screed, natural stone, slate or natural timber.



FIRST DRAFT AMENDMENT: 2006/12/05/12

Balconies facing only the “Back Boundary” (opposite street) where the property lies below the street from which access is taken. Should a corner property wish to construct a balcony the Higher or Mountain facing boundary, will be taken as the front for the purposes of this interpretation only.

The balcony must be setback from the “back Boundary” according to the Overlooking regulation. Ref. to section 54 of the former Cape Town Zoning scheme (Gov Gazette 4649).

The balcony must be screened from the common or side balconies by the building or flanking walls or screens a minimum of 1.7m high. These screens must comply with the Overlooking regulation.

All such balconies are still subject to the approval by the Stonehurst DRC and will not necessarily be approved if they are deemed to infringe on another abutting properties privacy more than the building may.

FOURTH DRAFT AMENDMENT: 2011/02/17

11.10.3 Common Boundary setback for Balconies: If a balcony is considerably setback so as to not create privacy the following method to calculate this is shown as a Balcony Privacy Setback

11.10.4 Balcony privacy setback = OF (Overlooking Feature) distance x 2 + Ht difference from Finished Floor Level (FFL) of balcony to Natural Ground Level (NGL) on the boundary opposite the proposed balcony). Ref Diagram

11.10.5 Overlooking Feature as determined in Section 54 (2) of the former CT Zoning scheme. This is intended to be conservative in controlling privacy, and takes into account the land fall or rise into account.

11.11 Balustrading

11.11.1 Balustrades may be constructed from timber or steel or a combination.

11.11.2 The designs are to be simple, without ornate detail.

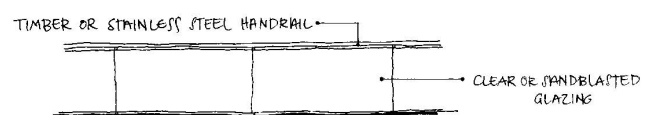
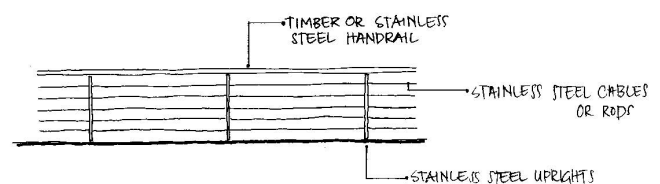
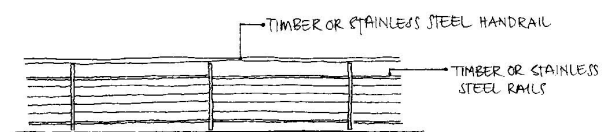


DIAGRAM 8: BALUSTRADING

11.11.3 Individual designs are subject to approval of the Design Review Committee



12. EXTERNAL WORKS



12.1 Waste Pipes

12.1.1 All drainage pipes except for low level stub stacks are to be concealed within walls, unless located within enclosed courtyards.

12.1.2 Rainwater Goods

12.1.3 Rainwater goods to be aluminum or pre-coated galvanized mild steel. Colours are to blend with the background surfaces.

12.2 Storm Water/ Drainage

12.2.1 Stormwater run-off is to be controlled in order to avoid soil erosion. All details of stormwater disposal including paving and landscaping are to be clearly stated in the building plans.

12.2.2 Pre-cast concrete channels will not be allowed. Where channels are required they shall be constructed in stone, brick or cobble.

12.2.3 Stormwater shall be dispersed in reeded channels/ swales or be allowed to penetrate within detention areas/ reed-beds before entering dams in lieu of being piped underground.

THIRD DRAFT AMENDMENT: 2009/07/30

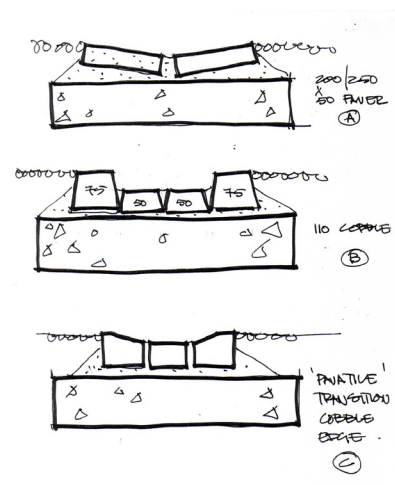
12.2.4 Storm Water Channels

Where it is necessary to install storm water channels the following options may be used.

Vee channel formed with Pavers

U channel formed with cobbles.

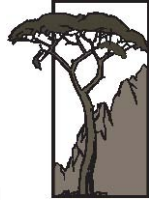
Combinations of Cobbles and "Pavatile" transition edges



Storm-water channel options

12.3 External/ Outdoor Lighting

12.3.1 External lighting shall be kept to a minimum. Where required, lights shall be fixed to walls or columns or should be restricted to garden up-lighters. Garden uplighters shall be black. External lighting must be low level (no higher than 1m) and to provide downwardly directed light.



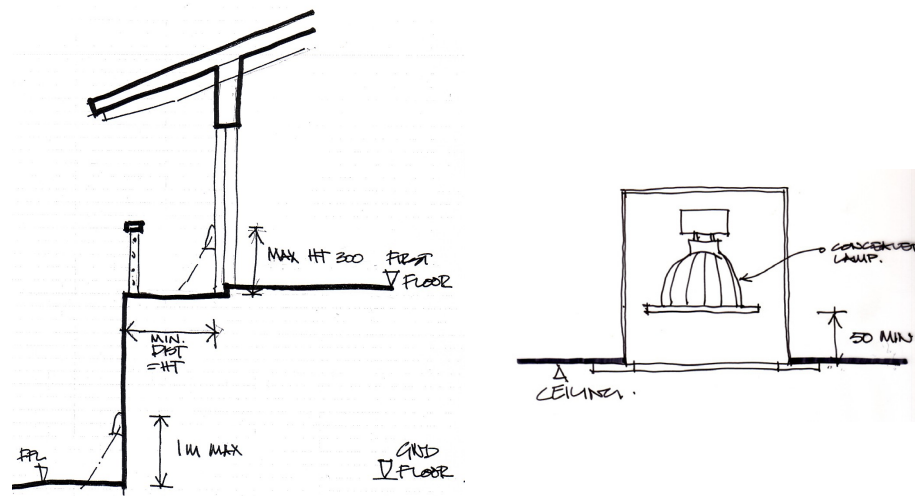
- 12.3.2 Generally, roads shall not be lit and courtyards and parking areas shall be minimally lit and restricted to entrance areas, where possible. Lighting is to be provided by the owner at the vehicle entrance to property.
- 12.3.3 No illuminated signage shall be allowed.
- 12.3.4 All lighting shall be to the approval of the Design Review Committee

THIRD DRAFT AMENDMENT: 2009/07/30

12.3.5 External Lighting:

The design manual specifies that exterior lighting should be generally concealed (i.e the light source or lamp should not be visible).

Down- lighters may be positioned in ground floor soffits only, provided the lamp / light source is recessed a min of 50 mm from above the ceiling soffit, and provided the location will not be visible from off the site, say concealed by a beam or bulkhead for example.



External Lighting

Lights to upper storeys must be downward facing, max 300mm above the floor level and be positioned away from the balcony edges the same distance from the edge Min 1m or a distance equal to the height, so that the light source is not visible from below.

Security flood lights will not be permitted.



12.4 Signage, Lettering And Numbering

- 12.4.1 No illuminated signage will be permitted
- 12.4.2 Lettering or numbers are to be a maximum of 150mm in height. See design manual for signage specification.
- 12.4.3 Signage and house numbering shall conform to the guidelines and shall be indicated on building plans. All such numbering and signage shall be attached to the building or onto walls where possible and must be shown on building elevations.

12.5 Swimming Pools and Water Features

Water features and swimming pools are to be designed in the style and character of the estate. 'Rock' or 'beach' pools and artificial rock are inappropriate. Water features, fountains and pools should be used to link the internal with the external and cool external spaces such as courtyards and verandahs.

- 12.5.1 All pools and water features shall form part of the approval process by the DRC.
- 12.5.2 Pool fences shall conform to National building regulations, but should be constructed from palisade to match other fencing within the development/ portion. Off-the-shelf pool fencing shall not be allowed, unless approved by the DRC and only in an acceptable colour. (charcoal grey, black).
- 12.5.3 Backwash from the filter is to be dealt with in accordance with Local Authority regulations. Swimming pool pumps must be screened from view. The position of the pump is subject to approval by the Design Review Committee.

THIRD DRAFT AMENDMENT: 2009/07/30

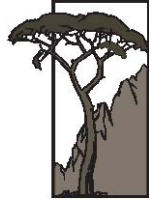
- 12.5.4 Pool safety- Water features ponds fountains, etc .
Any pool or Water feature, pond or fountain (deeper than 300mm), must be protected in terms of SABS 0400 DD4.

12.6 Outbuildings, Carports and other Secondary Elements

- 12.6.1 'Wendy houses' and sheds shall not be permitted. Single or double carports
- 12.6.2 to match the roof of the garage or main house. The supporting posts and roof of the carport will follow the same specifications as for

verandahs/ pergolas.

12.6.3 Guest cottages/ granny flats will be [considered](#).



FIRST DRAFT AMENDMENT: 2006/12/05

12.6.4 Second Dwellings

The Zoning Approval for the Stonehurst Mountain Estate is for Single Dwelling Residential and for Group Dwelling Houses (i.e. one unit per Erf)

Second dwellings will be considered, provided due process is followed, i.e. a departure application is made, neighbours consents are obtained, and the HOA consents.

Second dwellings will be subject to the following constraints: these shall be no larger than 120 sqm, are to be adjoined to the Main house using an inter-leading door. An extra parking bay must be provided.

12.7 **Laundry and Refuse Areas**

12.7.1 Laundry and refuse storage should remain fully concealed within courtyards. See Perimeter fences and boundary walls for restrictions regarding courtyards.

12.8 **Other Services**

12.8.1 Television aerials and satellite dishes are to be positioned as discretely as possible and subject to the approval of the DRC.

12.8.2 No solar panels will be allowed.

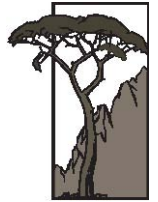
SECOND DRAFT AMENDMENT: 2008/06/17

12.8.3 **Solar Heating (to be read in conjunction with Addendum 1)**

The following guidelines should be followed should an owner wish to install Solar water heating, in compliance with COCT regulations

- Solar panels to be hidden from view
- Integrated with the design where possible
- Positioned flush on flat roofs or between roofs at the same pitch as the adjacent roof.
- Must not create reflective visible surfaces.
- Colour to be matt black, charcoal.

Only to comply with by-law regulations. On application from DRC



12.8.4 Generators – Noise limitations

Any generator must be installed within an enclosure, (but with adequate ventilation and exhaust flues) designed in such a way that the noise is limited to below 45 Db at the site boundary.

All applications must be submitted and approved, before installation, and be compliant with the relevant environmental laws.

13. ACCESS

13.1 Vehicular Access/ Driveways

Driveways and paved or hard surfaced areas shall take into account any proposed road reserve trees and shall make allowance for a minimum area of 2x2m planting area surrounding any roadside tree. Materials shall be chosen from the list

13.1.2 Vehicular access to the site will be as shown on the Site Plan.

13.1.3 The Finish on the driveways to match materials on existing road ways.

13.1.4 Two visitors Parking bays are to be provided on site in addition to Garaging. These bays need to be accommodated within the portion. (not in the road reserve).

13.1.5 Driveways are to be left open to allow vehicles to turn.

13.1.6 Pedestrian access: All pedestrian paths shall conform to the paving materials listed below and shall match the material used elsewhere on the portion.

14. HARD SURFACING MATERIALS

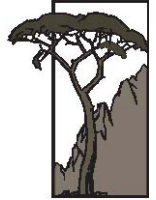
14.1 All paving materials shall be chosen from an appropriate list of materials in keeping with the overall character at the estate. Gravel, approved brick, cobbles, laterite, stone, slate and brown tar are examples of suitable materials.

14.2 Interlocking concrete pavers, concrete pavers, black tar and formal kerbs and channels in plain grey concrete will not be allowed. Brick, stone, or cobble channels will be encouraged.

14.3 Roads and driveways shall be designed to retain the rural character of the development. Paved courtyards shall be enriched by the use of attractive hard surfacing such as approved brick, sandstone gravel, stone and slate.

14.4 'Sleeper' pathways and timber log pathways and steps are acceptable. Timber decks, which do not protrude over building lines, and are constructed as close to the natural ground level as possible, are also acceptable.

14.5 Gravel may be used as an alternative to hard paving. Grass blocks are not



recommended.

14.6 All paving materials and paving plans are to be approved by the Design Review Committee/ estate developer or HOA.

14.7 The following brick colours will be acceptable:

- i. Corobrik:
 - Bronze Paver
 - Wheatstone Paver
 - Autumn Paver
- ii. Crammix:
 - Saharah Sand Paver

14.8 The following concrete products will be acceptable:

- iii. Smartstone
 - Cobbles and pavers in sandstone colour
- iv. Pavatile
 - Cobbles and pavers in sandstone colour / colour 157
- v. Revelstone
 - Cobbles and pavers in sandstone colour
- vi. Okavongo Paving
 - Okavongo plaza 80mm exposed aggregate paver in sandstone colour

14.9 The following exposed aggregate in-situ paving will be acceptable: Exposed aggregate concrete, using 6-13mm Prima sandstone from Prima Quarries or similar approved source.

14.10 The Following natural stone will be acceptable:

- i. Sandstone Sandstone tiles or rocks set in natural ground or concrete, ('stone pitching'). Cement joints should be kept to approximately 5cm maximum width on average and should be laid by an approved stonemason.
- ii. Slate 'Desert Sand' or 'Rich Autumn' available from Strata or Mazista.
- iii. Gravel

The following gravel will be acceptable: 6-13mm size Prima sandstone in a 20 to 50mm layer. All gravel is to be laid on a compacted sub-base.

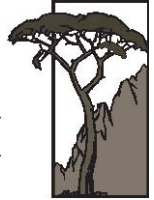
15. ENVIRONMENTAL/ SOFT LANDSCAPING CONTROLS

15.1 Site Clearing

15.1.1 No trees or vegetation outside the building area of each site may be removed without approval of the Design Review Committee.

15.1.2 Damage to trees and vegetation on any land unit will be subject to

penalties in accordance with the Environmental Management Plan.



- 15.1.3 Damage to trees and vegetation on Common Property will be subject to penalties in accordance with the Environmental Management Plan.

15.2 **Planting Character**

- 15.2.1 With the exception of fully enclosed courtyards, all trees and shrubs shall be indigenous to the Western Cape. A list of proposed plants follows as a guide. No invasive alien or invasive exotic plants will be allowed anywhere on the estate. Shrubs and groundcovers shall be chosen in keeping with the style and character of the estate. The style may be loosely defined as indigenous and rustic.
- 15.2.2 Climbing plants and creepers shall be encouraged to cover walls, create shade under pergolas and climb buildings to soften hard edges and surfaces.
- 15.2.3 The use of informal hedges is encouraged.
- 15.2.4 Non-invasive lawn species should be used. Buffalo lawn is proposed.
- 15.2.5 The use of 'tropical' plants such as palms, banana trees, Scheffleras, Phormiums, yuccas and/ or Strelitzia is seen to be inappropriate. The use of 'Mediterranean' plans such as cypresses, lavender and Bougainvillea is also discouraged.
- 15.2.6 The use of plants indigenous specifically to the site is proposed.
- 15.2.7 Generally, the style should be relatively informal.

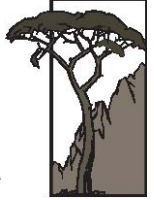
THIRD DRAFT AMENDMENT: 2009/07/30

15.2.8 Landscaping requirements - Trees

The design manual specifies that landscaping has certain plant types but is not prescriptive, as to the combination of these.

Trees are to be planted at a minimum of 1 tree (minimum 20 litre) per 250sqm of erf size.

- **Site** **0 - 250 sqm** **1 tree min**
- **Site** **250 - 500 sqm** **2 trees min**
- **Site** **500 - 750 sqm** **3 trees min**
- **Site** **750 - 1000 sqm** **4 trees min**
- **Site** **1000 > sqm** **5 trees min**



15.3 Sidewalk/ Roadside Planting

15.3.1 Planting on roadsides or on sidewalks or embankments must be planted using shrubs and groundcovers chosen from the proposed list and must be planted to blend in with indigenous and adjacent areas.

LANDSCAPING AMENDMENT

15.3.2 Environmental / Soft Landscaping Controls

Sidewalk / Roadside Planting

As per clause 9.4 of the Stonehurst Owners Constitution, which states that "Members shall be responsible to landscape and maintain, at their own cost, the road verge/s separating their erf from the road/s".

- i. Verges / sidewalks are to be fully landscaped and irrigated to form part of the adjacent garden as well as to tie in with any existing verge landscaping.
- ii. A fully landscaped verge is preferred, although residents are permitted to allocate a portion of their verges for off-road parking.

The following specifications will apply:

- Paved / gravelled verge area (including the driveway) is permitted to be the lesser of either 50% of the verge length or a maximum of 18meters in length.
- The paved / gravelled verge area must not be continuous. These hard areas must be interspersed with areas of landscaping to create a fragmented effect.
- The parking bay width may not exceed 2.5 meters in width and must be parallel to the road.
- The landscaped area must be planted with a minimum of three (3) different plant species. No mono-cultures of planting will be permitted. (See figure 1). No grassed verges will be permitted

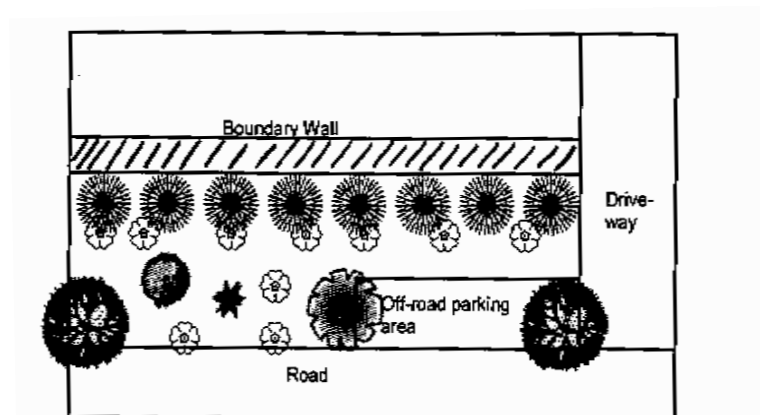


Figure 1: Schematic diagram of example off-road parking and verge landscaping



The following materials may be used:

- 200mm x 200mm approved sandstone aggregate paving blocks or
- Approved cobbles, both to match those on the adjoining roadside.
- Crushed Malmesbury 19mm stone chips.

The verge landscaping is to be submitted to the DRC along with a full landscape plan for approval.

15.3.3 Planting Character

The design manual requires that only buffalo lawn (*Stenotaphrum secundatum*) is permitted. Several requests from the homeowners for an alternative species of lawn have resulted in the design review committee recommending the following alternatives:

Cynodon dactylon (Kweek)

Paspalum vaginatum (Country Club)

15.4 Plant List

15.4.1 Shrubs

- 15.4.1.1 *Agathosma ciliaris*
- 15.4.1.2 *Crassula coccinea* (mountain slopes)
- 15.4.1.3 *Chondropetalum* sp.
- 15.4.1.4 *Chrysanthemoides monilifera*
- 15.4.1.5 *Coleonema album*
- 15.4.1.6 *Colpoon compressum* (Cape sumach)
- 15.4.1.7 *Erica baccans*
- 15.4.1.8 *Erica capensis*
- 15.4.1.9 *Erica laeta*
- 15.4.1.10 *Erica mammosa*
- 15.4.1.11 *Eriocephalis africanus*
- 15.4.1.12 *Halleria lucida*
- 15.4.1.13 *Indigofera filifolia*
- 15.4.1.14 *Lampranthus falciformis*
- 15.4.1.15 *Leucadendron salignum*
- 15.4.1.16 *Leucospermum cordifolium*
- 15.4.1.17 *Lobostemon argenteus/ Lobostemon glaucophyllus*
- 15.4.1.18 *Maytenus heterophylla*
- 15.4.1.19 *Metalasia muricata*
- 15.4.1.20 *Mimetes cucullatus*
- 15.4.1.21 *Muraltia heisteria*
- 15.4.1.22 *Pelargonium cucullatum*
- 15.4.1.23 *Podalyria calyptrate*
- 15.4.1.24 *Podalyria seicea*



- 15.4.1.25 *Polygala myrtifolia*
- 15.4.1.26 *Protea nitida*
- 15.4.1.27 *Protea repens*
- 15.4.1.28 *Pterocelastrus tricuspidatus* (candle wood)
- 15.4.1.29 *Salvia africana*
- 15.4.1.30 *Salvia chamelaeagnea*

15.4.2 Groundcovers

- 15.4.2.1 *Agapanthus africanus*
- 15.4.2.2 *Crassula capensis*
- 15.4.2.3 *Crassula cocinea*
- 15.4.2.4 *Crassula flava*
- 15.4.2.5 *Diosma oppositifolia* (wild buchu)
- 15.4.2.6 *Erica cerinthoides*
- 15.4.2.7 *Erica hirtiflora* (mountain slopes and marshes)
- 15.4.2.8 *Erica obliqua*
- 15.4.2.9 *Erica pulchella*
- 15.4.2.10 *Erica viscaria* var. *decora*
- 15.4.2.11 *Lampranthus falciformis* (mountains and mountain slopes)
- 15.4.2.12 *Pelargonium betulinum*
- 15.4.2.13 *Pelargonium capitatum*
- 15.4.2.14 *Pelargonium peltatum*
- 15.4.2.15 *Pelargonium pinnatum*
- 15.4.2.16 *Tritoniopsis Triticea* – (dry stony ground upper mountain slopes and plateaux)
- 15.4.2.17 *Sutera hispida* (hill slopes)

15.4.3 Bulbs

- 15.4.3.1 *Amaryllis belladonna*
- 15.4.3.2 *Cyrtanthus ventricosus*
- 15.4.3.3 *Watsonia barbonica*
- 15.4.3.4 *Watsonia marginata*
- 15.4.3.5 *Watsonia tabularis*

15.4.4 Wetland/ water plants

- 15.4.4.1 *Aponogeton distachyos*
- 15.4.4.2 *Aristea major*
- 15.4.4.3 *Chondropetalum tectorum*
- 15.4.4.4 *Elegia capensis*
- 15.4.4.5 *Psoralea aphylla*
- 15.4.4.6 *Psoralea pinnata*
- 15.4.4.7 *Spiloxene alba*
- 15.4.4.8 *Spiloxene aquatica*
- 15.4.4.9 *Wachendorfia paniculata*
- 15.4.4.10 *Wahlenbergia procumbens*
- 15.4.4.11 *Zantedeschia aethiopica*



15.4.5 Tree Species

- 15.4.5.1 *Brabejum stellatifolium* (wild almond)
- 15.4.5.2 *Cassine peragua* (cape saffron)
- 15.4.5.3 *Cunonla capensus* (Butterspoon tree)
- 15.4.5.4 *Curtisia dentata*
- 15.4.5.5 *Ilrx mitis*
- 15.4.5.6 *Kiggelaria africana* (wild peach)
- 15.4.5.7 *Maytenus oleoides*
- 15.4.5.8 *Olea capensis* (ironwood)
- 15.4.5.9 *Olea europaea* subsp. *Africana* (wild olive)
- 15.4.5.10 *Podocarpus latifolius* (real yellowwood)
- 15.4.5.11 *Rapanea melanophloeos* (cape beech)
- 15.4.5.12 *Rhus angustifolia*
- 15.4.5.13 *Rhus glauca*
- 15.4.5.14 *Rhus mucronata/ laevigata*
- 15.4.5.15 *Virgilia oroboides*
- 15.4.5.16 *Widdringtonia nodiflora*

15.4.6 Climbing plants

- 15.4.6.1 *Clematis brachiata*
- 15.4.6.2 *Jasminum multipartitum* (starry jasmine, indigenous to eastern cape)
- 15.4.6.3 *Podranea ricasoliana* (port st johns creeper, eastern cape)
- 15.4.6.4 *Rhoicissus tomentosa* (wild grape)
- 15.4.6.5 *Senecio macroglossus* (flowering ivy, eastern cape)

15.4.7 Hedge species

- 15.4.7.1 *Chrysanthemoides monilifera* (bietou, low hedge)
- 15.4.7.2 *Dodonaea angustifolia*
- 15.4.7.3 *Dovyalis caffra*
- 15.4.7.4 *Plumbago auriculata* (cape leadwort, low, informal hedge)
- 15.4.7.5 *Rhus crenata*
- 15.4.7.6 *Rhus laevigata/ mucronata*
- 15.4.7.7 *Tarchonanthus camphorates*



16. FIRE PRECAUTIONS

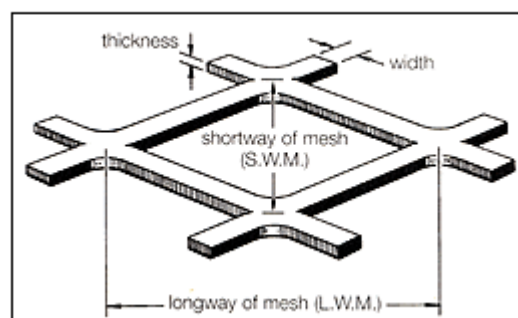
- 16.1 Due to the forest vegetation on the site there is a higher than normal fire risk. Each owner should familiarize themselves with the position of hydrants and hose-reels on the site and with any rules and procedures lay down by the SHOA.
- 16.2 The water supply to each portion shall be a 40mm connection.
- 16.3 A fire hose-reel is to be mounted in a position convenient to and visible from the road, on each portion.
- 16.4 All owners are encouraged to install sprinkler irrigation systems on the area surrounding the house and possible on the roof. Any PVC pipe work for these systems should be buried a minimum of 400mm deep.
- 16.5 The flues of Fireplaces are to be fitted with brass mesh to prevent sparks escaping. Braai places shall be built with flues.
- 16.6 It is recommended that gutters be not installed as the leaf matter that can collect is a fire hazard. Where gutters are not used, storm water runoff must be dealt with in an alternative manner. Gutters should be fitted with mesh guards to prevent leaf matter collecting.
- 16.7 It is recommended that the design be modified where possible by incorporating fire prevention measures such as those obtained from "The Complete Australian Bushfire Book".

SECOND DRAFT AMENDMENT: 2008/06/17

16.8 Fire Safety- Spark Control

The design manual requested a brass mesh to chimneys. Following discussions with fireplace manufacturers the following specification has been adopted as a minimum requirement of 10mm x 10mm.

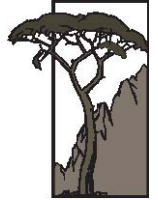
Flatex



Framed expanded metal mesh to be fitted inside the chimney flue brickwork (at its top). Mentis Flatex Mesh Code 352/VEM 6318 F (see attached). The mesh can be welded onto a 5mm flat steel frame and dropped onto 4 screws/nails inside the chimney opening.

Dimensions - Flatex

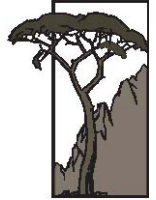
Type	SWM	LWM	Strand Width	Strand Thickness	Mass Per Sheet
Flatex 338/VEM 6311F	50	80	4.5	2.5	10.4
Flatex 344/VEM 6320C	25	50	3	1.6	8.9
Flatex 346/VEM 6320H	25	50	4.5	3.0	25.0
Flatex 348/VEM 6320E	25	50	4.5	2.5	20.8
Flatex 349/VEM 6320D	25	50	3	2.0	11.1
Flatex 352/VEM 6318F	15	40	3	1.6	14.8
Flatex 358/VEM 6315F	10	30	3	1.6	22.2
Flatex 362/VEM 6280E	8	20	2	1.0	11.6



17. ARCHITECTURAL & LANDSCAPE REVIEW AND PLAN SUBMISSION PROCESS

17.6 Submission to Design Review Committee

- 17.6.1 Building plans may only be submitted to local authority, once it has been approved by the Stonehurst Home Owners Association.
- 17.6.2 To facilitate the approval process by the SHOA, sketch plans should be submitted for approval, prior to the preparation of the final submission drawings.
- 17.6.3 Plans submitted to the Stonehurst Homeowners Association for approval shall include the following information:
- i. 1:200 Site plan showing roof plan Building Lines, contours, existing trees as marked on site indicating those to be removed and retained, hard and soft landscaping, driveways and carriageway crossings.
 - ii. 1:100 Floor plans showing: retaining walls, pergolas, terraces, Floor space measured in accordance with the definition per floor. All Elevations 1:100 showing levels, heights, materials and finishes.
 - iii. Longitude section taken through slope of site and showing site boundaries, natural ground line, finished ground line and heights. Levels to be related to actual levels taken from Land Surveyors survey drawings.
 - iv. Completion of checklist as supplied by SHOA
 - v. 1:100 or 1:200 Landscape Plan showing contours, existing and new trees, trees to be removed, if any building outline, all external structures e.g. decks, pools and water features, pergolas and gazebos, paved areas, paths, terraces and retaining structures, irrigation sleeves. The Landscape plan must also include a list of plants for the proposed landscape, these plants shall be selected from the list of plants included in this guideline document.
 - vi. 1:100 or 1:200 Irrigation plan showing position of control points, connections to mains.
- 17.6.4 Two sets of drawings pertaining to the buildings are to be submitted to the SHOA.
- 17.6.5 A SHOA submission and scrutiny fee for reviewing, altering and approving plans shall be required.

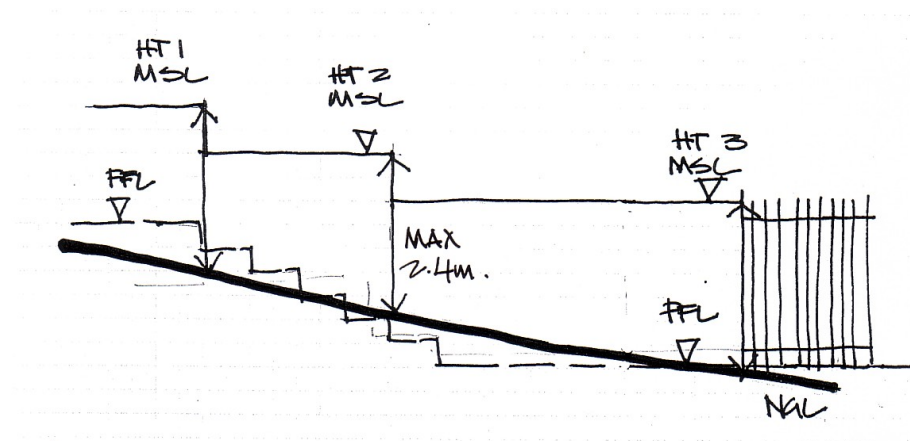


THIRD DRAFT AMENDMENT: 2009/07/30

17.6.6 Information required on all plans.

In order to facilitate the reviewing of plans correctly the following information is required.

- i. Rider plans to be coloured in to clearly indicate changes. Changes not coloured will not be deemed to have been previously approved.
- ii. Heights of floor levels MSL
- iii. Ridge apex heights MSL.
- iv. Contours (MSL) on each plan level including roof plan.
- v. Boundary walls to be drawn on elevation/ with top of wall levels (MSL) and NGL at the base of the wall must clearly annotated.



Wall Heights

LANDSCAPING AMENDMENT

17.6.7 REQUIREMENTS FOR A LANDSCAPE PLAN SUBMISSION: PLAN SUBMISSION MUST INCLUDE:

- i. At least 2 copies of landscape plans at a scale of 1: 100 or 1: 50.
- ii. The ground floor plan of any buildings must be indicated, on an overall site plan.
- iii. The plan (shape, size) and specification (type, colour, size, height) of any hard landscape materials such as steps, shade structures, pergolas, braais, paving, decking, gravel, stepping stones, swimming pools, retaining walls etc.
- iv. The plan must indicate the position of lawn areas, shrub areas and trees.

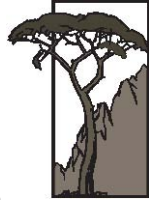


- v. The plan must specify what type of plants, lawn and trees will be used, including those for the road verge.
- vi. Plan must specify that all verge areas will be irrigated. Owners are also encouraged to install irrigation on their properties.
- vii. Plant densities must be indicated (i.e. how many plants per m²).
- viii. Trees and shrub sizes must also be specified.
- ix. In addition, the drawing will need to include:
 - Screening plants, i.e., trees and shrubs along the boundaries.
 - A Legend or Key should be used indicating Sizes, (Kg / Litres), and Quantities per square meter and plant species.
 - Sections and detailing through all retaining structures. These may need to be verified by an engineer on the recommendation of the Design Review Committee.
 - Stormwater Management Plan to indicate the surface and underground management of stormwater dispersal and how this integrates into the overall stormwater dispersal of the surrounding properties, common land and roads.

17.7 **Submission of Council Drawings to SHOA**

These should include:

- 17.7.1 The set of council submission drawings to be submitted to the SHOA, prior to submission to the South Peninsula Municipality. These drawings may only be submitted, after the final sketch plan approval by DRC. The drawings need to comply with requirements of local authority, but should include the following:
 - 17.7.1.1 A 1:200 computer generated, or physical model of the site, and the design proposal with a detailed description of the finishes, and the hard and soft landscaping proposed.
 - 17.7.1.2 Six sets of drawings need to be submitted to the SHOA. One set will be retained by the SHOA for their records. The approved plans will be returned for submission to the local authority.



17.8 Local Authority Plan Approval

17.8.1 On approval of the sketch plans by SHOA, drawings can be prepared for submission to the South Peninsula Municipality – in terms of the National Building Regulations and the Local Authority Requirements.

17.8.2 All submissions are to be the responsibility of the owner/ Architect.

DISCLAIMERS

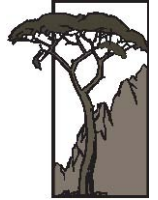
17.9 This document is considered supplementary to the National Building Regulations (NBR) and cannot take precedence. Should any provisions of this document be regarded as contrary to the NBR, then the NBR shall prevail.

17.10 This document is considered supplementary to the Local Authority requirements and the conditions contained in the land use approvals (dated 14 February 2005) and cannot take precedence. Should any provisions of this document be regarded as contrary to the Local Authority requirements or the conditions contained in the land use approvals (dated 14 February 2005), then the Local Authority requirements and the conditions contained in the land use approvals (dated 14 February 2005) shall prevail, except for the aesthetic or architectural approval, which remains at the discretion of the Design Review Committee.

17.11 This document is to be considered supplementary to the Home Owners' Constitution and cannot take precedence. Should any provisions to this document be regarded as contrary to the Homeowners' Constitution, then the Home Owners' Constitution shall prevail.

17.12 This document is to be considered supplementary to the National Building Regulations (NBR) and cannot take precedence. Should any provisions of this document be regarded as contrary to the NBR, then the NBR shall prevail.

17.13 This document is considered supplementary to the Local Authority requirements and the conditions contained in the land use approvals (dated 14 February 2005)



Specification List: March 2006

1. Roof materials

1.1 Natural Slate:

- Colour Silver Blue.

1.2 Corrugated Sheeting

- Kliplok or Victorian Profile
- Colour : Charcoal or Dark Dolphin

2. Wall Finishes

- Shiplapped Hardwood Boarding / Everite building planks
- Plastered Walls
- Marmoran 1,5mm random pattern
- Timber Cladding : Balau stained & oiled.

3. Windows Doors & Shutters

- Natural Timber : Teak & Ebony stain
- Epoxy Coated Aluminium
- ANP 3055 : Matt Charcoal
- ANP 3057 : Matt Dark Umber Grey
- ANP 37030 : Matt Stone Grey
- ANP 39007 : Matt Grey Aluminium
- ANP 3056 : NM Bronze
- Natural Anodised Aluminium finish.
-

4. Verandas & pergolas

- Verandas and pergolas to match colour and materials of windows, Doors, and shutters.
- Natural untreated timber such as Balau will also be permitted.



ANNEXURE 1: GROUP HOUSING SITES AT STONEHURST ESTATE

1. INTRODUCTION

The group sites are located within the North-Eastern part of the Stonehurst Mountain Estate. These sites have been positioned on the more gentle slopes of the site. Therefore a denser, more integrated development is allowed as these sites are not as visually exposed as the single residential units against the steeper slopes of the mountain.

The dwellings should be structured to define courtyards or garden spaces which will create a sheltered external space, whilst optimizing any possible views of the mountain backdrop to the South. A modern interpretation of openings is encouraged to integrate the internal spaces with an exterior courtyard or garden.

The architecture and landscaping for the group sites at Stonehurst Mountain Estate should result in a development, which conforms to the overall design and character of the rest of the Estate. The architecture and design for these sites should display a more homogeneous and integrated character, whilst retaining the idea of creating a fragmented roofscape.

The controls for the group sites should be used in conjunction with the overall Architectural, Urban Design and Landscape Control Document, as these sites are to conform to the general architectural controls for the entire Estate. The built form and the general building control for the group sites vary from the main document, and outlines the following:

2. BUILT FORM

The designer should aim to position the house forms in such a way that it could create a sheltered garden or courtyard space which is protected from the South-Easter and which optimizes views.

The plan forms used should be linear and fragmented, as opposed to rectangular and monolithic. The built form should frame the individual sites, and should assist in defining the spaces beyond the site, as opposed to creating a built structure in the centre of the site.

House forms are to be composed of major and minor rectilinear forms: Major forms with double pitched or mono pitched roofs are limited to a maximum width of 7m and minimum of 4.0m width measured externally (see diagram). Minor forms consist of elements like verandahs, pergolas, concrete roofs and lean-to's. The building proportion of the major building form to be at least 2:3 (width to length).

The use of projecting decks, verandahs and eaves to shade walls and areas of glass and thereby break up the visual impact of the building, is encouraged.

Verandahs and lean-to's shall not be wider than two-thirds of the width of the major form to which it is attached.

3. GENERAL BUILDING FORM CONTROL



The general building form of the group site at the Stonehurst Estate will be controlled by restriction of coverage, limited restriction in terms of building lines, as well as height restrictions. The overall design intent for these sites will be developed by the designers of these two group dwellings.

3.1 Coverage

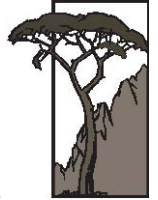
- 3.1.1 Coverage refers to all the buildings and includes the main dwellings, garages, verandahs and balconies within the prescribed site area.
- 3.1.2 The maximum coverage for each of the individual sites to be a maximum of 60%. Open space for communal use to be provided within the boundaries of each of the group dwellings.

3.2 Building Lines

- 3.2.1 Please note that any building service servitudes will override the proposed building lines for each of the individual sites.
- 3.2.2 In general the building lines will conform to the following restrictions:

- (ii) Street boundary:
 - Main building and garages - 0.0m
 - (Applicable to Portions 1-5, 7, 8, 12, 13, 16-19, 22, 24, 26, 28-30 of Stonehurst Close)
- (iii) Side (Common) boundary:
 - All side boundaries - 0.0m
 - No fenestration allowed on the boundary line
 - Rear/ common boundary
 - Main building - 1.5m
- (iv) Boundaries fronting onto public open space:
 - Main buildings - 5.0m
 - Swimming pools - 2.0m
 - Retaining walls -0.0m

Please note that a 5,0m building setback is applicable from the riverine corridor and affects Portions 1 and 20 – 30 within 'Stonehurst Close' and Portions 1 and 37 – 45 within the 'Village at Stonehurst'



3.3 Height Restrictions

- 3.3.1 The height of any dwelling, including the roof, is restricted to 8.5m above the natural ground level of the site. No portion of the building, except chimney's, shall be higher than 8.5m above any point of the natural ground level immediately below it.
- 3.3.2 No vertical face of the building shall be higher than 7.0 measured externally from finished ground level to wall plate or eaves level.

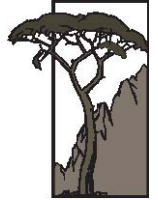
3.4 Roofs

- 3.4.1 Simple roof forms with low pitches are encourage to minimize the impact of the group development on the surroundings, as well as on the rest of the Estate, as most of the single residential houses will have views over the roof scapes of these developments.

- 3.4.2 Roofs of major plan forms are to be broken up into individual components, and can be linked with flat concrete roofs or other connecting elements. This may be necessary in order to accommodate level changes.

3.4.3 Permissible Major Roof Forms

- 3.4.3.1 Symmetrical double-pitched roofs with a pitch of 17.5° -35°
- 3.4.3.2 Simple mono-pitches with a minimum pitch of 1.5° and max. pitch of 17°
- 3.4.3.3 Lean-to Verandah roofs shall have a pitch between 5° and 15°
- 3.4.3.4 Materials for roof finishes may be natural slate, specified cement tiles or corrugated iron. Clear polycarbonate sheeting or glazing may be used on verandah roofs, but must be limited to a portion of the roof set in from the outside edge.
- 3.4.3.5 Colours and specification of roof materials will be part of the detailed specification document.
- 3.4.3.6 Flat roofed areas are to be finished in natural stonechip, in brown or grey colours. Reflective finishes or aluminum paint are not allowed.



General Exterior Specifications:

Walls:

All walls to receive one coat smooth plaster. All plaster surfaces to be painted with one primer coat and two coats "Mayan Stone" E14-4 paint.

Part signage walls at unit 1 and 30 to be dry-packed natural stonewalls.

External floor surfaces

Courtyards: Revelstone concrete pavers in sandstone colour.

Driveways and pathways: Savanna Slightly Exposed brown aggregate paver to match existing road.

Roofs

Sheeted roofs: Brownbuilt "Kliplok" or similarly approved charcoal powder-coated roof sheets with purpose-made charcoal galvanized steel channel as shadowline.

Concrete flat roofs: Roofs finished with brown/grey natural stonechip.

External lighting

All external lighting to be downward lit at a maximum height of 1000mm above finished ground level.

Timberwork

Pergola: Clear-rubol varnished Meranti timber

Front door: Clear-rubol varnished horizontal slatted Meranti timber

Garage door: Clear-rubol varnished horizontal slatted Meranti timber

Shutters: Clear-rubol varnished horizontal slatted Meranti timber

Gates/screens: Clear-rubol varnished horizontal slatted Meranti timber

Steelwork:

Frames to gates/screens as well as balustrades to be charcoal galvanized steel.

Aluminium doors and windows

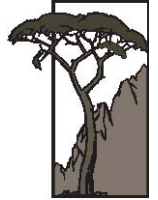
All aluminium doors and windows to be finished as charcoal powder-coated.

Palisade Fence

All palisade fencing in and around the site to match the spec of the Stonehurst mountain Estate fencing as seen on the North side (Westlake drive) of the site.

Signage and Numbering

The house number is provided as part of the unit and the style may not be changed.



Swimming Pools and Water Features

Water features and swimming pools are to be designed in the style and character of the estate. 'Rock' or 'beach' pools and artificial rock are inappropriate. Water features, fountains and pools should be used to link the internal with the external and cool external spaces such as courtyards and verandahs.

All pools and water features shall form part of the approval process by the DRC.

Pool fences shall conform to National building regulations, but should be constructed from palisade to match other fencing within the development/ portion. Off-the-shelf pool fencing shall not be allowed, unless approved by the DRC and only in an acceptable colour. (Charcoal grey, black).

Backwash from the filter is to be dealt with in accordance with Local Authority regulations. Swimming pool pumps must be screened from view. The position of the pump is subject to approval by the Design Review Committee.

Outbuildings, Carports and Other Secondary Elements

"Wendy houses" and sheds are not permitted. Single or double carports are to match the roof of the garage or main house. The supporting post and roof of the carport shall follow the same specifications as for verandas and pergolas

Solar Heating

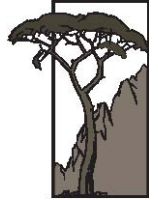
Solar heating is permitted as per the specifications in Amendment 4 to the Design Manual: Solar Heating

Satellite Dishes

Satellite dishes are permitted on application to the Design Review Committee. Satellite dishes are to be discreetly positioned so as to minimise the external effect and are to be painted to match the colour of the home.

Landscaping

The landscaping requirements are as per item 15.2 of this Design Manual: Planting Character



General Exterior Specifications – Stone Village

Walls

All walls to receive one coat smooth plaster. All plaster surfaces to be painted with one primer coat and two coats:

New Fallen Snow	6j 1-3
Pacific Bungalow	6j 1-5
River Rock	6j 1-7

External floor surfaces

Entrance: Pavatile concrete pavers “Slateblok 50” colour 157

Drying Yard: Pavatile cobbles “Eurocobble 50” colour 157

Patio: Pavatile concrete pavers “Slateblok 50” colour 157

Driveway: Border: Pavatile cobbles “Eurocobble 75” colour 157

Infill: Exposed aggregate, colour “Savannah” (to match existing roads)

External lighting

All external lighting to be downward lit no higher than 1500mm above finished ground level.

Timberwork

Pergola: Clear-rubol varnished Meranti timber

Front door: Clear-rubol varnished horizontal slatted Meranti timber

Garage door: Clear-rubol varnished horizontal slatted Meranti timber

Gates/screens: Clear-rubol varnished horizontal slatted Meranti timber

Balustrades

Juliet balustrades to be stainless steel with a stained Meranti timber handrail

Aluminium doors and windows

All aluminium doors and windows to be finished as charcoal powder-coated.

Fencing

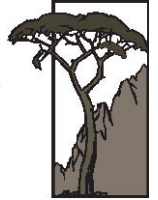
All palisade fencing in and around the site to match the spec of the Stonehurst mountain Estate fencing as seen on the North side (Westlake drive) of the the site.

Portions 1 and 37 – 45 require visually permeable fencing or walling only on the riverine side of the sites. Vegetation may be used to replace or accentuate fencing

Colour of palisade fencing to be of a dark charcoal colour, Plascon Graphite E29-7

Shutters

Varnished horizontal slatted Meranti timber



Burglar Bars

Designs should be simple, without ornate detail. All designs are subject to review by the Design Review Committee.

No external burglar bars will be permitted

No metal security doors will be permitted externally

Rainwater Goods

To be finished as charcoal powder-coated.

Signage and Numbering

The house number is provided as part of the unit and the style may not be changed.

Swimming Pools and Water Features

Water features and swimming pools are to be designed in the style and character of the estate. 'Rock' or 'beach' pools and artificial rock are inappropriate. Water features, fountains and pools should be used to link the internal with the external and cool external spaces such as courtyards and verandahs.

All pools and water features shall form part of the approval process by the DRC.

Pool fences shall conform to National building regulations, but should be constructed from palisade to match other fencing within the development/ portion. Off-the-shelf pool fencing shall not be allowed, unless approved by the DRC and only in an acceptable colour. (Charcoal grey, black).

Backwash from the filter is to be dealt with in accordance with Local Authority regulations. Swimming pool pumps must be screened from view. The position of the pump is subject to approval by the Design Review Committee.

Outbuildings, Carports and Other Secondary Elements

"Wendy houses" and sheds are not permitted. Single or double carports are to match the roof of the garage or main house. The supporting post and roof of the carport shall follow the same specifications as for verandas and pergolas

Solar Heating

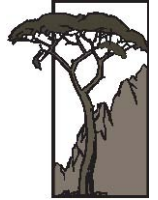
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Satellite Dishes

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Landscaping

The landscaping requirements are as per item 15.2 of this Design Manual: Planting Character



DRAFT AMENDMENT : 2011/06/01

ADDENDUM 1: SOLAR PANELS:

The following amendments to the April 2006 Rev13 guidelines are proposed.

1. Solar Heating:

The following guidelines should be followed should an owner wish to install solar water heating, in compliance with SANS 10400 XA

1.1 Plan Submission:

A full proposal is to be submitted for the consideration of the Design Review Committee. It is suggested that the solar panels are taken into account at the initial plan submission stage. This will then take into account the different roofscapes / types and how the panel is positioned so as to cause the least possible visual impact.

The following information is to be included in each solar heating proposal:

1.2 Location

The location of the solar panel must be indicated on a roof plan and ALL affected elevations. When choosing the location for your solar panel, please bear the following in mind:

- i. Solar panels to be hidden from view where possible
- ii. Must be integrated with the design of the roof where possible
- iii. To be positioned either on a:
 - a) flat roof,
 - b) between two roofs or ,
 - c) be screened adequately by a parapet wall
 - d) Directly onto the hipped or mono pitch roof itself. (please refer to diagram 1,2 and 3 below and
 - e) Optimum angle 350 – 430 north
 - f) The panels are to be integrated with the roof, and the roof pitch should match the angle of the panel
 - g) 200 to 350 loss up to 25% add additional panels or electrician

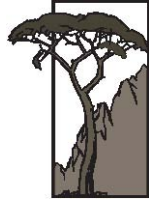
1.3 Specifications

Kindly provide the specifications of the unit you wish to install. This includes:

- i. Effective angle of elevation
- ii. Tube or flat plate collector
- iii. A photograph of the specific unit

1.4 Aesthetics:

The following conditions apply in terms of the aesthetics of the units:



- i. The panel must not create a reflective visible surface
- ii. The entire unit must be matt black or charcoal. This includes the frame of the panel, the stand, all pipes which service the unit etc

1.5 Visual Impact:

The above mentioned stipulations are to ensure that the visual impact of solar heating installations is minimised. Further to this, the following can also be done to reduce the visual impact:

- i. A screen (timber, aluminium louvers) to fully screen the entire unit
- ii. Relative to the position on the roofs: The solar panel (as far as possible) may not form a separate unit. All installations must be incorporated with the roof design. (Please see diagram 4 below)

Only to comply with by-law regulations - on application from DRC



ADDENDUM 2 – SUSTAINABLE DESIGN

RECOMMENDATIONS - (not compulsory)

A. Building Envelope

1. Insulation to cavity walls is recommended
2. Insulation to ceiling space is recommended, in addition to the 'sisalation' type layer
3. Acoustic / Thermal / insulated glazing is recommended, which can assist to meet SANS 10400 XA thermal requirements, and lower noise pollution
4. Consider source & sustainability of materials selected for building (e.g. sustainable timber)
5. Minimise air leakage to building by ensuring windows and doors seal

B. Pool

1. Rational design suggests not to use rim-flow pool due to heat and water losses
2. Swimming pool backwash collection system, for return of backwash water to the pool is recommended to reduce water loss and wastage
3. Dark colour to capture and retain heat is recommended to reduce need for additional heating

C. Fittings & Fixtures

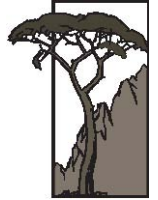
1. CFL / LED lighting to be used throughout
2. Energy Efficient appliances (Green Star Ratings) should be installed
3. Hot water piping to have as short runs as possible
4. Lagging to all hot water piping to reduce heat loss
5. Motion detection switching (can be integrated with security sensors)
6. Daylight sensors to external lights with override

D. Water & Garden

1. Roof / balcony gardens are encouraged to replace lost 'garden' area and to dissipate 'heat island' effect of building – world standard is at least 10% of building should be covered with vegetation (window boxes, planted balconies / terraces, wall creepers)
2. Rainwater harvesting is suggested with minimum 5000l, but recommended 10000l or more tank. Tank to be partially buried and screened from view
3. Grey water capture and reticulation and re-use for flushing is recommended
4. Borehole / well point
5. Water wise garden
6. Underground drip-feed irrigation is recommended to reduce water wastage
7. Set flow rate on showers etc to minimum

E. Behaviour Modification

1. Replace what you displace
2. Minimise waste & recycle
3. Reduce energy use by switching off lights when rooms not in use and 'ghost' energy users such as appliances left on standby
4. HWC set at maximum 60degrees



REQUIREMENTS – (mandatory)

SANS 10400 XA - All submissions to comply with SANS 10400 XA, XA1, XA2 & XA3 and SANS 204:2011 Energy Efficiency in Buildings with respect to:

- Orientation
- Shading
- Floors
- Walls
- Fenestration
- Roof Assemblies
- Hot Water
- Ventilation
- Heating
- Cooling
- Lighting

OTHER REQUIREMENTS

- Insulation should be installed below ground floor slab (insulation of some sort is required by the SANS 10400 XA) minimum 20mm polystyrene, Iso-board or equivalent
- Timer to be installed on all electrical HWC's
- Solar hot water heating where pumped must be installed with a controller with heat sensor
- Insulation / lagging of all HWC & pipes (SANS 10400 XA2)
- Indoor lighting also should not create light pollution beyond the individual property
- Pool heating must be solar or other non-resistance heating
- Solar panels, or other energy devices such as photo voltaic panels, if used, should be incorporated into the buildings to form part of the basic structure, should be clearly shown and annotated, and should not extend above the roof profile i.e fitted flush with the roof and mounted as inconspicuously as possible, preferably on north-facing roof. Should the panels be located on a flat roof, the solar panels and structure must be suitably screened from view. Any exposed metal structure or surround must be as per the colour guideline for finishes. The proposal for the position, size, location and orientation of the panels must be submitted to the Design Review Committee for approval.
- use of water conservation measures in all bathroom/ablution facilities such as Low volume shower heads / low flow taps - Max flow rate for wash hand basin taps is 6l/m and showers 10l /min
- Timer on pool pump
- Pool Cover required to minimise heat loss and water evaporation
- WC's are required to be fitted with a Multi-flush system
- Recycling is required, colour coded bins are recommended
- Stormwater infiltration must be promoted through minimising hard paved areas and the use of porous paving surfaces, where paving is required
- Rainwater runoff from roofs must be directed into gardens and/or into rainwater tanks, rather than directly into storm water drains. Where practical and possible in relation to the elevation above the street. (Storm water management plan must be submitted for approval)
- The provision of rainwater tanks on site must be specified in the design plan as to the location and screening thereof